

DARRYL J. FORBES-TABER
FBOA (Aust) Unrestricted Licence #6004
Chartered Fellow & Life Member



**PROJECT PLANNING
and DESIGN**

Multi-Award Winning Building Designer
BDA NSW Accredited Building Designer
ABN 76 776 059 697

phone: 02 6922 3258
mobile: 0408 692 667
email: ppdesign@ozemail.com.au

P.O BOX 8487
KOORINGAL NSW 2650



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

DARRYL FORBES-TABER BUILDING DESIGN

**PROPOSED ALTERATIONS & REFURBISHMENT OF TWO
(EXISTING) 1 BEDROOM UNITS & THE CONSTRUCTION OF
ADDITIONAL 2 BEDROOM UNIT AT LOT NO. 1, D.P. 421513,
NO. 47 SPRING STREET, WAGGA WAGGA, NSW
FOR MILLARD SUPER SERVICES P/L**

Unit 1, 47 Spring Street, Wagga Wagga SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details.			
WATER COMMITMENTS			
Fixtures			
3 Star Shower Heads	3 Star Toilet	3 Star Kitchen Taps	3 Star Basin Taps
THERMAL COMFORT COMMITMENTS			
Concrete slab	On ground floor – Nil insulation		
External wall	Framed (weatherboard, fibro, metal clad), R1.70 (or R2.10 including construction)		
Flat ceiling – Pitched roof	Ceiling: R1.95 (up), Roof: foil backed blanket (55mm) – Medium in colour		
Glazing –	Standard aluminium, single clear, (or U-Value: 7.63, SHGC: 0.75)		
ENERGY COMMITMENTS			
Artificial Lighting	Install a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent or light-emitting-diode (LED) lamps		
Hot Water	Gas instantaneous		



0004993890 08 Jul 2020

Assessor Joseph Lorrman
Accreditation No. DMN191742

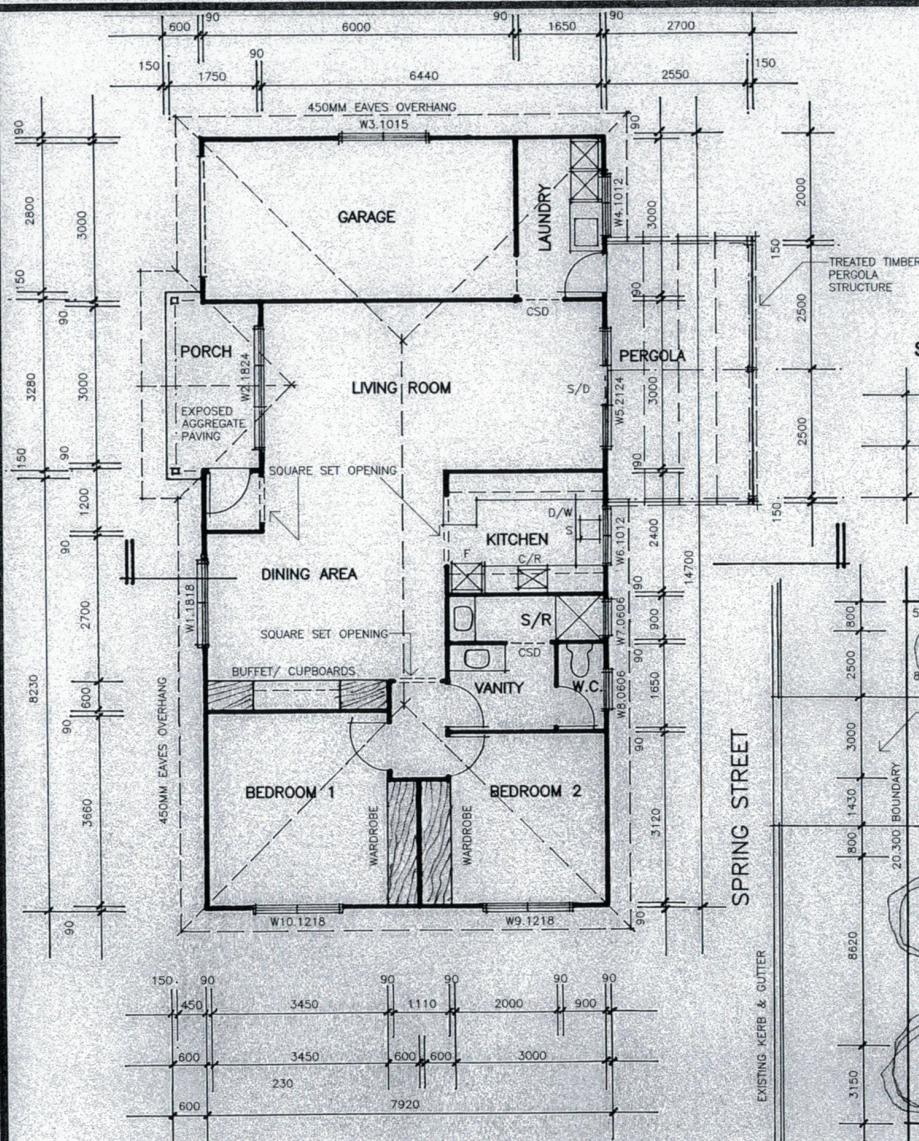
Address 47 Spring Street,
WAGGA WAGGA,
NSW, 2650



hstar.com.au

Unit 3, 47 Spring Street, Wagga Wagga SUMMARY OF BASIX COMMITMENTS				
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details.				
WATER COMMITMENTS				
Fixtures				
Alternative Water – Rainwater Tank Size 3,000(L) Tank/Unit Connected To:				
All Toilets	One Outdoor Tap	Laundry W/M Cold Tap		
Fixtures				
4 Star Shower Heads	4 Star Toilet	4 Star Kitchen Taps	4 Star Basin Taps	
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water	Gas instantaneous 6 star			
Cooling System	Living	Bedrooms	Ceiling fans	
Heating System	Living	Bedrooms	Ceiling fans	
Ventilation	Bathrooms	Kitchen	Fan ducted to roof/facade	Manual on/off
	Laundry		Natural ventilation	Manual on/off
Natural Lighting	Window/Skylight in Kitchen		As Drawn	
	Window/Skylight in Bathrooms/Toilets		As Drawn	
Artificial Lighting (Primarily lit by fluoro or LED)	Number of bedrooms	2	Dedicated	No
	Number of Living/Dining rooms	1	Dedicated	No
	Kitchen	Yes	Dedicated	No
	All Bathrooms/Toilets	Yes	Dedicated	No
	Laundry	Yes	Dedicated	No
	All Hallways	Yes	Dedicated	No
OTHER COMMITMENTS				
Outdoor clothes line	Yes	Indoor or sheltered clothes drying line	No	
Stove/Oven	Gas cooktop, electric oven			
Other				

DMN Assessor #16/1742		8 th July 2020		Reference: 207/2020	
Evergreen Energy Consultants					
Email address: enquiries@evergreenec.com.au				Ph: 1300 584 010	
Important Note for Development Applicants:					
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If they vary from drawings or other specifications this Specification shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.					
Once the development is approved by the consent authority, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, the proposed construction varies to those detailed or need further information, please contact Evergreen Energy Consultants.					
This assessment has assumed that the BCA provisions for building sealing will be complied with at construction.					
Thermal Performance Specifications					
External Wall Construction		Insulation	Colour (Solar Absorbance)	Detail	
Fibro Cavity Panel Direct Fix		Anti-glare foil with bulk no gap R3.5	Medium		
Internal Wall Construction		Insulation		Detail	
Cavity wall, direct fix plasterboard, single gap		None			
Cavity wall, direct fix plasterboard, single gap		Bulk insulation, no gap R3.5		Walls adjoining garage	
Ceiling Construction		Insulation		Detail	
Plasterboard with Timber		Bulk insulation R3.5			
Roof Construction		Insulation	Colour (Solar Absorbance)	Detail	
Coldboard		Bulk, reflective side down, no air gap above R1.3	Medium	18" pitch	
Floor Construction		Insulation	Covering		
Concrete Slab on Ground		None	Carpet, Tiles and Bare		
Windows		Glass and frame type	U Value	SHGC	Area m2
ALUM-002-01 A Aluminium framed Group B Windows Single Glazed Clear			6.70	0.70	0.00
All Group A windows are Awning, Bilgot, Casement, Tilt 'n' Turn, Entry, French & Hinged windows and doors. All Group B windows are Double Hung, Louvre, Fixed, Sliding & Stacker windows and doors.					
U and SHGC values are according to NRC. Alternate products may be used if the U value is lower and the SHGC is less than 5% higher or lower than the above figures.					
Fixed shading – Eaves		Width includes guttering, offset is distance above windows			
As drawn		Nominal only, refer to plan for detail			
Fixed shading – Other		Verandah to certain units only			
Shaded areas and shade devices as drawn, adjoining buildings and boundary fences					
For construction in NSW the BCA Vol 1 or 2 must be complied with, in particular the following:					
Thermal contribution in accordance with Section J1.2 or Vol 2 Part 3.12.1.1					
Thermal breaks in accordance with Section J1.3(6) & 1.3(6) or Part 3.12.2(6) & 3.12.1.2(4b)					
Compensating for loss of ceiling insulation in accordance with Section J1.3(6) or Part 3.12.1.2(4b)					
Floor insulation in accordance with Section J1.6(4) & (6) or Part 3.12.1.2(4b)(b) or (c) & (d)					
Building sealing in accordance with Section J1 or Part 3.12.1.1 & 3.12.1.2					



NEW 2 BEDROOM UNIT LAYOUT PLAN

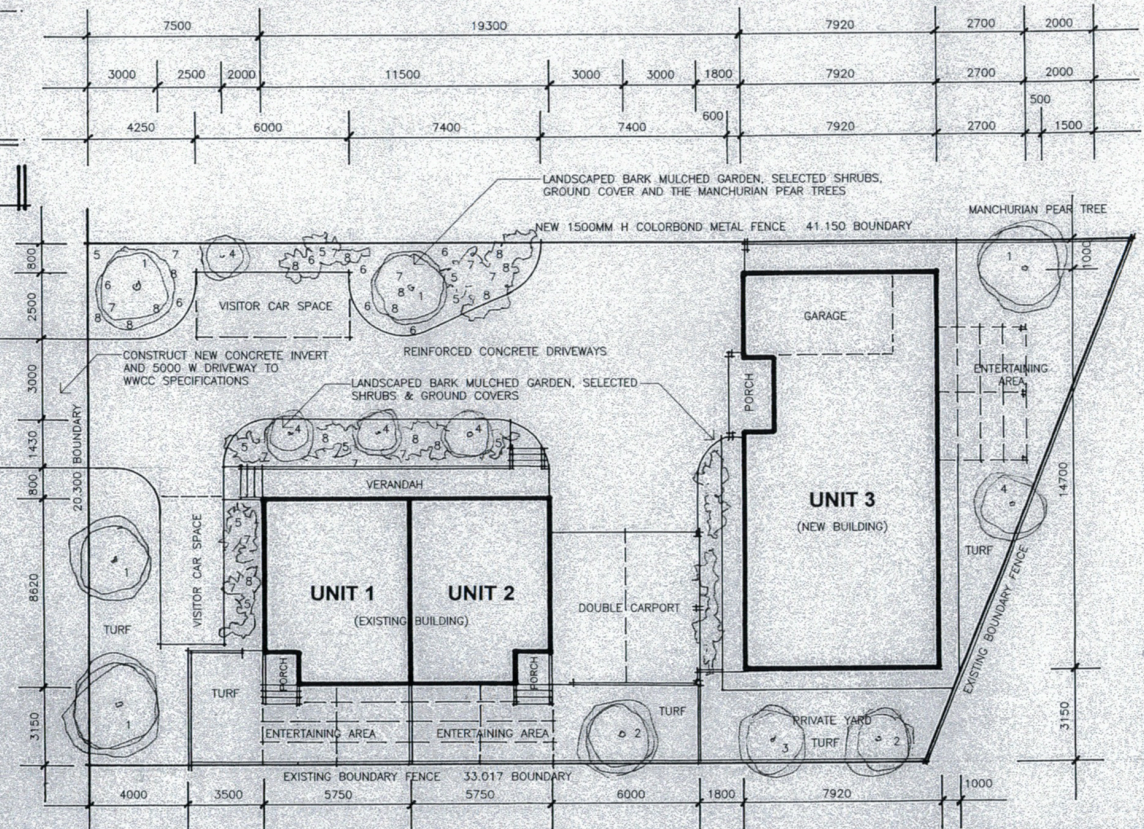
LANDSCAPING LEGEND:

1. PYRUS USSURENSIS MANCHURIAN PEAR TREES (45 LITRE POTS) 6M
2. ORNAMENTAL LILIPILLI (30 LITRE POTS) 3M
3. MELALEUCA LINARFOLIA "SNOW IN SUMMER" (300 MM POTS)
4. SENNA ARTIMISIOIDES "SILVER CASSIA" 2M (300 MM POTS)
5. GREVILLEA SP. "BRONZE RAMBLER", "AUSSIE CRAWL" (300 MM POTS)
6. LOMANDRA LONGIFOLIA "MAT RUSH" (300 MM POTS)
7. LOMANDRA (VARIOUS GROUPS) (300 MM POTS) (20 OFF)
8. AGAPANTHUS AFRICANUS (300 MM POTS) (30 OFF)

IRRIGATION/MAINTENANCE:

PROVIDE & INSTALL A "TORO" OR EQUAL MULTI STATION FULLY AUTOMATED IRRIGATION SYSTEM COMPRISING OF SPRAY HEADS, DRIPPERS & SPRINKLERS TO EFFECTIVELY WATER & MAINTAIN ALL GARDEN & LAWN AREAS

SITE LAYOUT/ LANDSCAPING PLAN



LAWN/TURF AREAS:

ALL AREAS INDICATED "TURF" ON PLAN ARE TO BE SUITABLY PREPARED WITH 100MM FIRST QUALITY WEED FREE LOAM, SUPPLY & LAY "SIR WALTER" BUFFALO TURF, ROLLED AND LEVELLED, AND TOP DRESS ALL JOINTS & VOIDS

MULCHED GARDEN BEDS:

ALL GARDEN BEDS ARE TO BE PINE BARK MULCHED TO A MINIMUM DEPTH OF 75MM GENERALLY

ENVIRONMENTAL & EROSION CONTROL

THE BUILDER SHALL ENSURE THAT ALL NECESSARY PRECAUTIONS ARE TAKEN TO PROTECT THE ENVIRONMENT. RUN OFF AND OVERLAND FLOW OF WATER SHALL BE COLLECTED AND RETAINED ON THE SITE. THE BUILDER SHALL COMPLY WITH ALL REQUIREMENTS OF THE LOCAL COUNCIL'S ENVIRONMENTAL SERVICES DEPARTMENT, AND ANY BREACHES, FINES OR COSTS INCURRED BY FAILURE TO COMPLY SHALL BE BORNE BY THE BUILDER. UNDER NO CIRCUMSTANCES IS ANY DISCHARGE FROM THE SITE TO ENTER STORMWATER AND SEWERAGE SYSTEMS. MUD, DIRT AND OTHER MATERIALS DISLODGED FROM WHEELS OF VEHICLES LEAVING THE SITE SHALL BE CLEANED FROM THE ACCESS/PUBLIC ROADWAYS ON A DAILY BASIS

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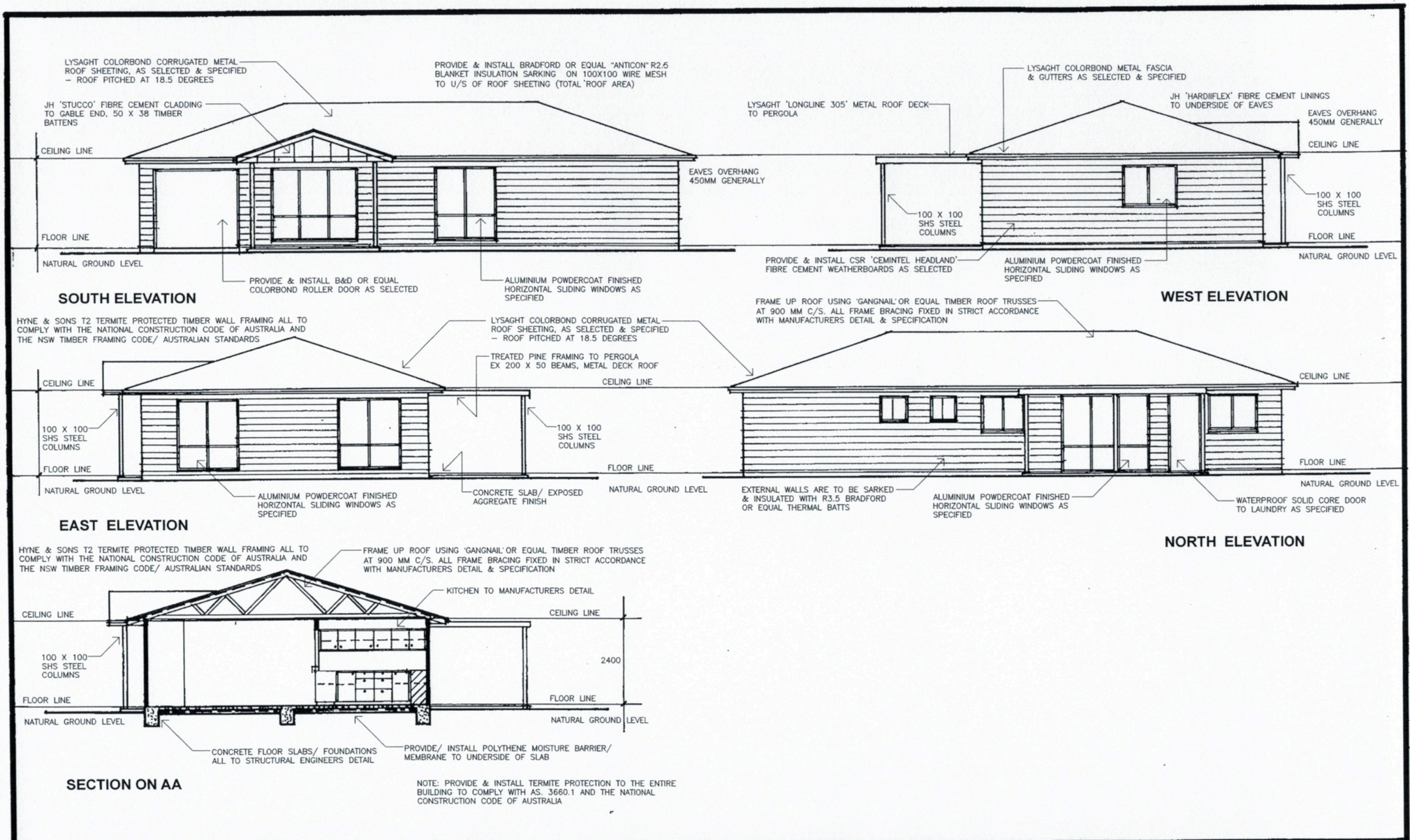
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**FLOOR LAYOUT
PLAN UNIT NO. 3,
SITE &
LANDSCAPING
LAYOUT PLAN**

SCALE: 1:100, 1:200 AT A3
DATE: 13TH MAY, 2020
DRAWN: D.J. FORBES-TABER FBDA
SHEETS IN SET:
CHECKED:
DRAWING NO./SHEET NO.:

5532/2



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ELEVATIONS & SECTION DETAILS

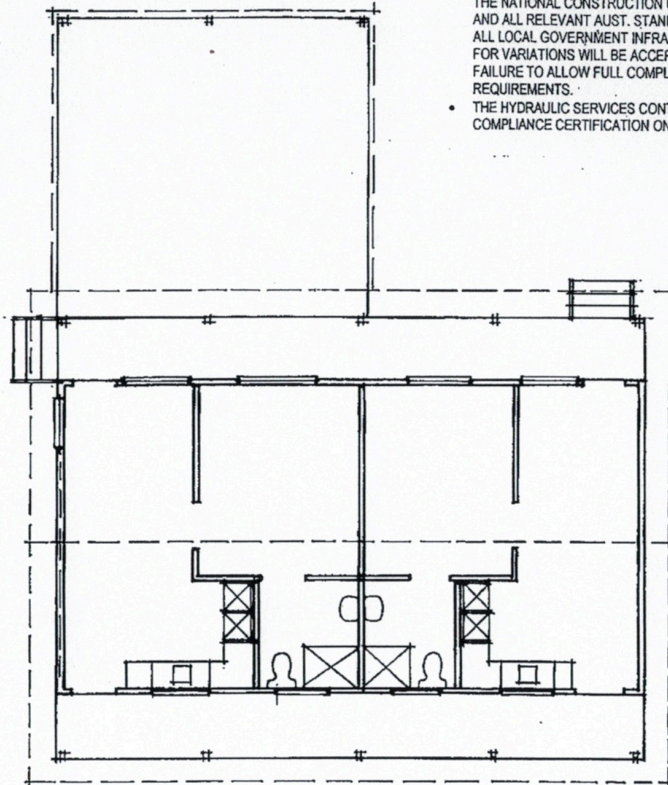
UNIT NO. 3

0004993090 08 Jul 2020
 Approved by: DARRYL FORBES-TABER
 Approved by: DARRYL FORBES-TABER
 Address: 47 SPRING STREET, WAGGA WAGGA, NSW 2650

SCALE: 1:100 AT A3
 DATE: 13TH MAY, 2020
 DRAWN: D.J. FORBES-TABER FBDA
 SHEETS IN SET:
 CHECKED:
 DRAWING NO./SHEET NO.:
5532/4

NOTES

- THE HYDRAULIC SERVICES LAYOUT, SEWER & STORMWATER, GAS & WATER RETICULATION PLANS ARE DIAGRAMATIC ONLY. IT IS THE HYDRAULIC SERVICES CONTRACTORS SOLE RESPONSIBILITY TO DESIGN & RETICULATE ALL SERVICES IN STRICT ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE OF AUST. (CURRENT EDITION) AND ALL RELEVANT AUST. STANDARDS REFERENCED THEREIN AND ALL LOCAL GOVERNMENT INFRASTRUCTURE GUIDELINES. NO COSTS FOR VARIATIONS WILL BE ACCEPTED, DUE TO THE CONTRACTORS FAILURE TO ALLOW FULL COMPLIANCE WITH THE REGULATIONS AND REQUIREMENTS.
- THE HYDRAULIC SERVICES CONTRACTOR IS TO PROVIDE FULL COMPLIANCE CERTIFICATION ON COMPLETION OF THE INSTALLATION



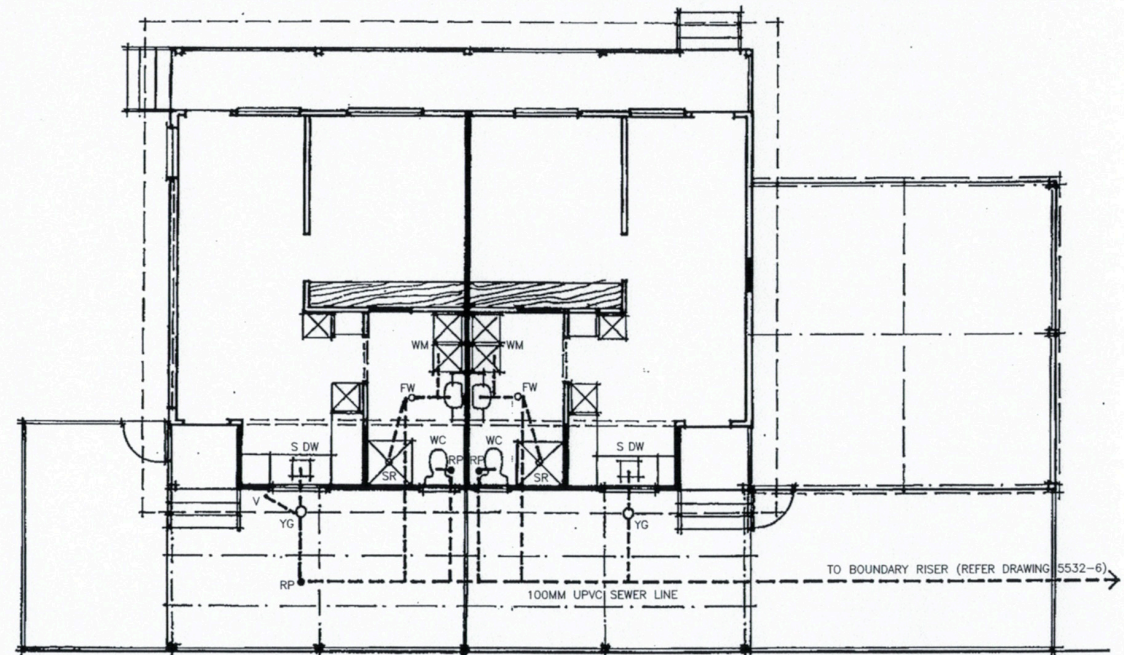
NOTE:

DISCONNECT & TERMINATE/ REMOVE ALL EXISTING SEWERAGE PLUMBING/ PIPEWORK AND REDUNDANT SERVICES

EXISTING GROUND FLOOR LAYOUT PLAN

NOTES

- THE SEWER DRAINAGE LAYOUT SHOWN IS DIAGRAMATIC ONLY, IT IS THE PLUMBING CONTRACTORS SOLE RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARD A.S 3500 AND ALL THE REQUIREMENTS AND GUIDELINES OF THE LOCAL COUNCIL AUTHORITY.
- ALL TOILET SUITES THROUGHOUT THE WORKS SHALL HAVE A RODDING POINT (RP) INSTALLED ADJACENT TO EACH FITTING.
- THE TOTAL SEWERAGE DRAINAGE SYSTEM IS TO BE INSTALLED BY A LICENSED PLUMBING CONTRACTOR AND IS TO BE CERTIFIED TOTALLY COMPLIANT ON COMPLETION.



UNIT ONE & TWO SEWERAGE LAYOUT PLAN

LEGEND TO SYMBOLS

RP	RODDING POINT/INSPECTION OPENING
WC	TOILET SUITE (AS SELECTED & SPECIFIED)
BSN	HAND WASH BASIN (AS SELECTED & SPECIFIED)
T	LAUNDRY TUB (45 L STAINLESS STEEL)
S	STAINLESS STEEL SINK (AS SELECTED & SPEC.)
FW	FLOOR WASTE (TILED INSERT TYPE)
FG	FLOOR GRATE (S.S. GRATED DRAIN)
DW	DISH WASHER (AS SELECTED & SPECIFIED)
WM	WASHING MACHINE (BY OWNERS)
SR	SHOWER RECESS (LAMINATED GLASS SCREEN)
YG	YARD GULLEY (GULLEY TRAP)
B	BATH/SPA BATH (AS SELECTED AND SPECIFIED)
V	VENT PIPE (INCLUDING SEWERAGE STACKS)

SEWERAGE LAYOUT PLAN UNIT 1 & 2



SCALE: 1:100 AT A3
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DRAWN: D.J. FORBES-TABER FBDA
SHEETS IN SET:
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DRAWING NO./SHEET NO.:

5532/5

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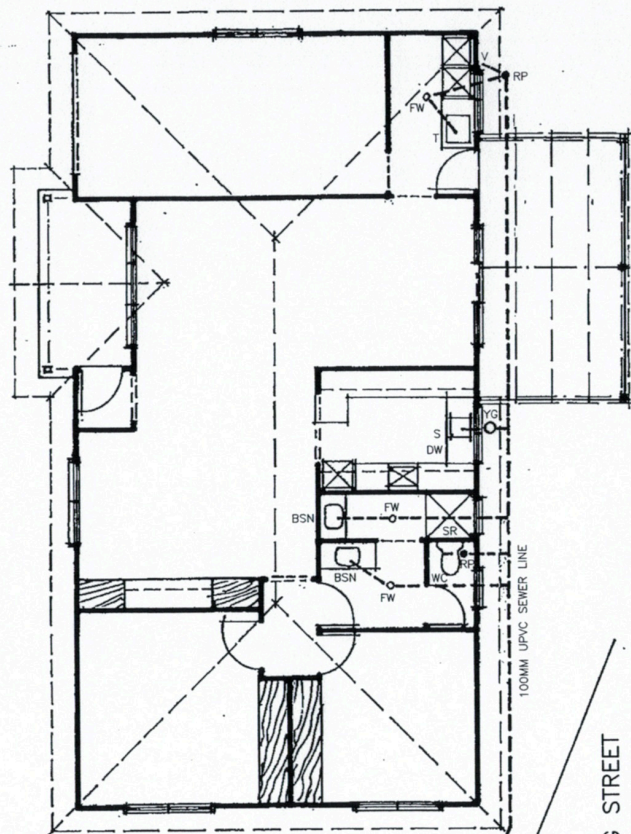
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100MM UPVC SEWER LINE FROM UNITS 1 & 2
(REFER DRAWING 5532-5)

BOUNDARY FENCE

EXISTING BOUNDARY RISER

100MM UPVC SEWER LINE

BOUNDARY FENCE

SPRING STREET

UNIT THREE SEWERAGE LAYOUT PLAN

NOTES

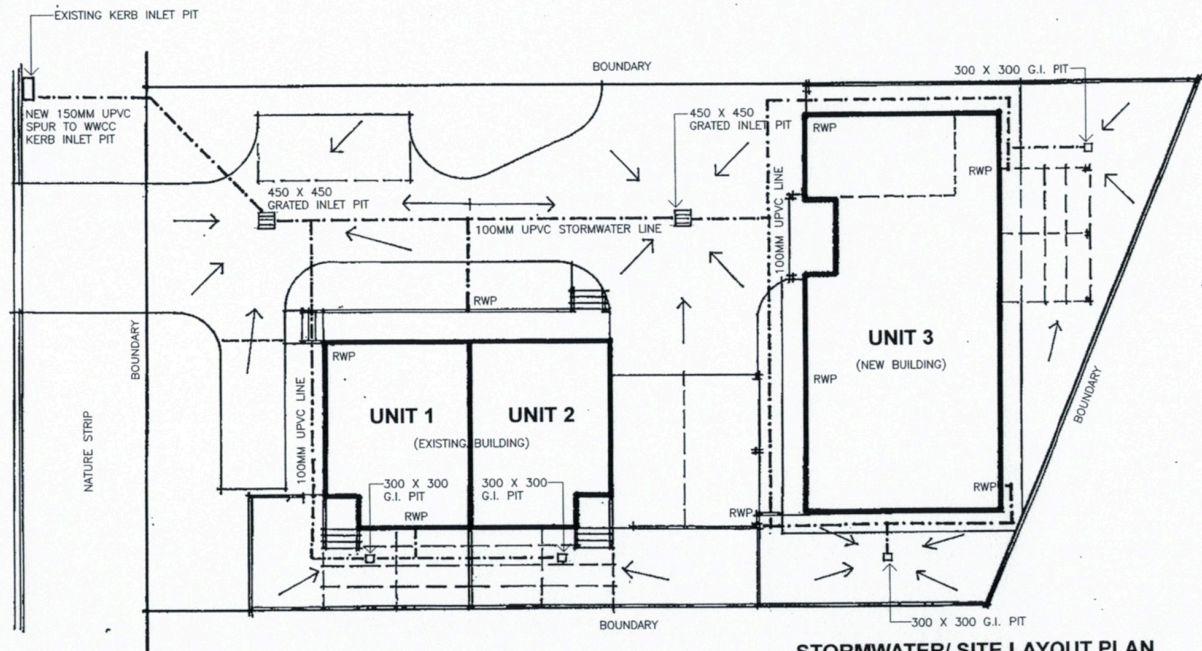
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LEGEND TO SYMBOLS

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YG	YARD GULLEY (GULLEY TRAP)
B	BATH/SPA BATH (AS SELECTED AND SPECIFIED)
V	VENT PIPE (INCLUDING SEWERAGE STACKS)



STORMWATER/ SITE LAYOUT PLAN

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











STORMWATER & SEWERAGE LAYOUT PLAN

0004933000 08 Jul 2020

Assessed
Approved by: JASON LUTHER
Address: 280/10/10/10
Address: 280/10/10/10
Address: 280/10/10/10

SCALE: 1:100, 1:200 AT A3
DATE: 13TH MAY, 2020
DRAWN: D.J. FORBES-TABER FBDA
SHEETS IN SET:
CHECKED:
DRAWING NO./SHEET NO.:
5532/6

ELECTRICAL LEGEND:

-  NEW ELECTRICAL MAIN SWITCH/ METER BOARD
-  DISTRIBUTION BOARDS DB1, DB2, DB3
-  CLIPSAL TPDL 1C1 LED RECESSED DOWNLIGHTS
-  CLIPSAL TPBD LED 2 BATTEN STRIPLIGHTS
-  CLIPSAL CE250, 250MM DIAMETER EXHAUST FAN (TIMER/ SENSOR CONTROLLED)
-  DIAGRAMMATIC WIRING/ SWITCHING LAYOUT (REUSE WHERE COMPLIANT)
-  CLIPSAL "ICONIC" RANGE LIGHT SWITCHES
-  CLIPSAL "ICONIC" RANGE 3025 - VW DOUBLE GENERAL PURPOSE POWER OUTLETS (SAFETY)
-  A/C UNIT POWER TO ISOLATION SWITCHES ADJACENT
-  D/W. DISHWASHER/ P.C. AT \$800.00 + GST
-  C/R. COOKING RANGE/ P.C. AT \$1500.00 + GST
-  R/H. 'ROBIN HOOD' OR EQUAL STAINLESS STEEL EXHAUST/ RANGE HOOD
-  T.V. TELEVISION ANTENNAE OUTLETS (AND ANTENNAE/ ROOF)
-  CLIPSAL TPWP LED WATERPROOF 'VANDALITE' (EXTERNAL)

ELECTRICAL NOTES

- 1/ THE ELECTRICAL LAYOUTS SHOWN ON THIS DRAWING ARE DIAGRAMMATIC. IT IS THE ELECTRICIAN'S RESPONSIBILITY TO CARRY OUT THE COMPLETED INSTALLATION IN TOTAL COMPLIANCE WITH THE SUPPLY AUTHORITIES' GUIDELINES AND ALL RELEVANT AUSTRALIAN STANDARDS, AND PROVIDE FULL CERTIFICATION OF THE INSTALLATION ON COMPLETION
- 2/ ALL GENERAL PURPOSE POWER OUTLETS ARE TO BE APPROVED CHILD SAFETY PROOF TYPE
- 3/ THE ELECTRICAL LEGEND SHOWN ON THIS DRAWING IS "UNIVERSAL" IN CONTENT. IF ANY SYMBOL SHOWN ON THE LEGEND IS NOT REFLECTED ON THE ELECTRICAL LAYOUT PLAN, IT IS TO BE ASSUMED THAT THIS FITMENT IS NOT REQUIRED FOR INSTALLATION ON THIS PROJECT
- 4/ THE ELECTRICIAN IS TO CALCULATE THE TOTAL MAXIMUM DEMAND FOR PROVISION OF ALL ELECTRICAL SERVICES, POWER, LIGHTING, EMERGENCY SERVICES, AIR CONDITIONING ETC. TO SUPPLY THE REQUIRED ELECTRICAL LOAD TO THE NEW BUILDING (PLUS 20% SPARE CAPACITY FOR FUTURE PURPOSES)

NOTE: AIR CONDITIONING WALL HUNG SPLIT SYSTEMS AT \$4,000.00 + GST EACH

UNDERGROUND ELECTRICAL SUPPLY

GENERAL NOTES

- 1/ THE ELECTRICAL WORKS SHALL BE EXECUTED BY A CERTIFIED AND COMPETENT ELECTRICIAN WITH A THOROUGH KNOWLEDGE OF THE APPLICABLE STANDARDS AND NSW REGULATIONS
- 2/ THE ELECTRICAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL THE DRAWINGS OF THE PROJECT. THE LEVEL OF DETAILS IN THE ELECTRICAL DRAWINGS IS GENERALLY TO THE CURRENTLY ACCEPTED PRACTICES. HOWEVER, WHERE ADDITIONAL DETAILS ARE NEEDED TO EXECUTE THE WORKS, THE CONTRACTOR SHALL ELABORATE & EXECUTE THOSE DETAILS TO THE APPLICABLE STANDARDS AND NSW SERVICE & INSTALLATION RULES WITHOUT ADDITIONAL COSTS.
- 3/ COORDINATE ALL WORKS WITH THE BUILDER AND ALL SUB CONTRACTORS WORKING ON SITE. OBTAIN APPROVAL FROM THE BUILDER BEFORE EXECUTING ANY WORKS THAT AFFECT THE STRUCTURE OR FINISHING OF THE BUILDING.

PROVIDE & INSTALL A REGULATION STEEL RISER POLE AT BOUNDARY AND INSTALL UNDERGROUND SUPPLY MAINS TO MSB AND SUB MAINS TO THREE UNITS DISTRIBUTION BOARDS DB1, DB2, DB3

5/ THE ELECTRICIAN IS TO SUPPLY & INSTALL THE COMPLETE ELECTRICAL SYSTEM ALL IN STRICT ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (N.C.C.A. 'CURRENT EDITION) AND ALL RELEVANT AUSTRALIAN STANDARDS, AND CERTIFY THE INSTALLATION COMPLIANT ON COMPLETION

6/ WHERE A SPECIFIED FITTING, DEVICE OR COMPONENT IS NOT AVAILABLE THE CONTRACTOR SHALL SELECT SIMILAR EQUIPMENT THAT COMPLIES WITH THE APPLICABLE STANDARDS AND FULFILLS THE REQUIREMENTS OF THE PROJECT - OBTAIN PRIOR APPROVAL FOR ALTERNATIVES BEFORE PLACING ANY PURCHASE

DARRYL J. FORBES-TABER
FBDA (Aust) Unrestricted Licence #6004
Chartered Fellow & Life Member

PROJECT PLANNING and DESIGN

DARRYL FORBES-TABER BUILDING DESIGN

Multi-Award Winning Building Designer
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P.O BOX 8487
KOORINGAL NSW 2650

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

PROPOSED ALTERATIONS & REFURBISHMENT OF TWO (EXISTING) 1 BEDROOM UNITS & THE CONSTRUCTION OF ADDITIONAL 2 BEDROOM UNIT AT LOT NO. 1, D.P. 421513, NO. 47 SPRING STREET, WAGGA WAGGA, NSW FOR MILLARD SUPER SERVICES P/L

ELECTRICAL LAYOUT PLAN UNIT 1, 2 & 3



SCALE: 1:100, 1:200 AT A3
DATE: 13TH MAY, 2020
DRAWN: D.J. FORBES-TABER FBDA
SHEETS IN SET:
CHECKED:
DRAWING NO./SHEET NO.:

5532/7