

STATEMENT OF ENVIRONMENTAL EFFECTS

**PROPOSED MULTI DWELLING HOUSING DEVELOPMENT
ALTERATIONS AND REFURBISHMENT TO TWO EXISTING 1 BEDROOM UNITS AND THE
CONSTRUCTION OF ADDITIONAL 2 BEDROOM UNIT
LOT 1 DP 421513 (47 SPRING ST)
WAGGA WAGGA, NEW SOUTH WALES**



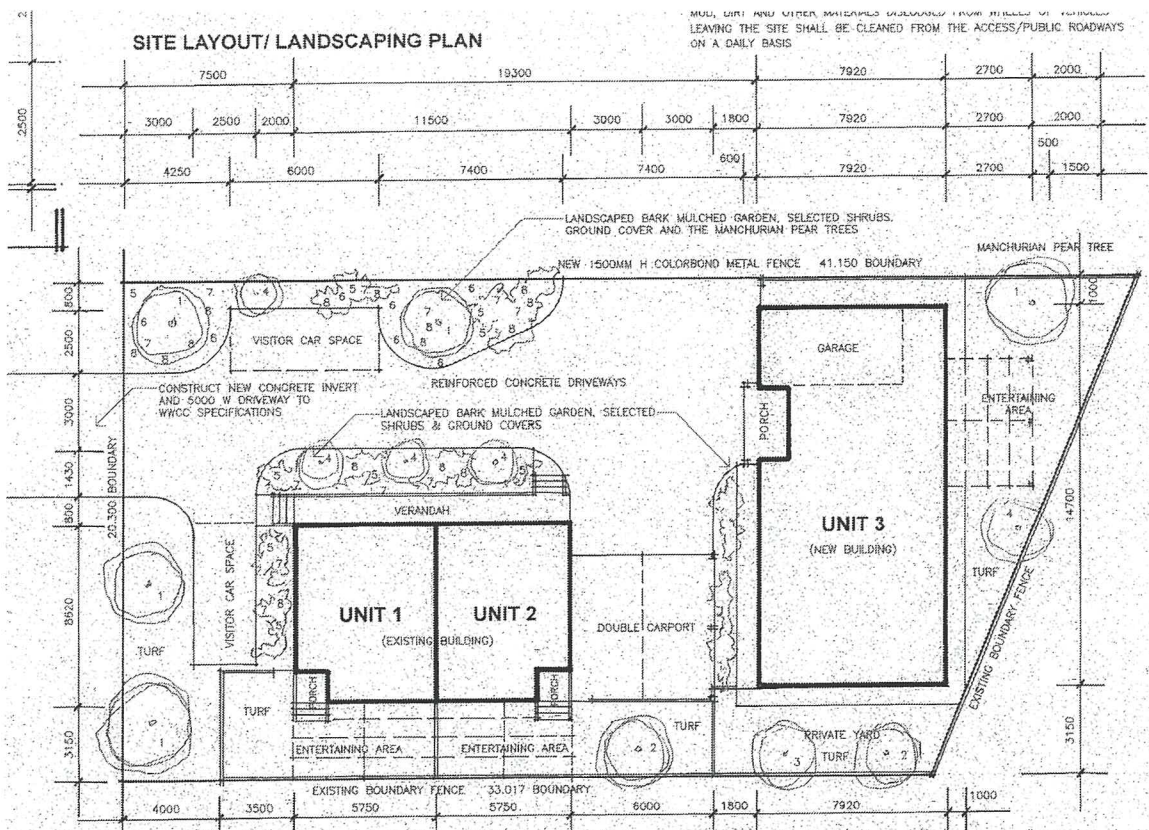
Subject site

Owner: MILLARD SUPER SERVICES P/L
Applicant: Project Planning & Design

PREPARED BY IRIS PLANNING

18 June 2020

PROJECT DESCRIPTION



ALTERATIONS AND REFURBISHMENT TO EXISTING 1 BEDROOM UNITS (2) AND THE CONSTRUCTION OF ADDITIONAL 2 BEDROOM UNITS LOT 1 DP 421513 #47 SPRING Wagga Wagga NEW SOUTH WALES

Construction Details

Refurbishment of existing 2 one-bedroom units with floor space of 40m² each

- Each of the two units to be refurbished consist of one-bedroom kitchen living room and on suite with the front and rear verandah and entertainment area
- Erection of a new carport. Installation of new wardrobes, kitchen and bathroom
- the works will require demolition of external laundry building, carport structure removal Removal of all cladding from external walls of existing building and the installation of thermal insulation batts with fibre cement weather board external cladding.
- Removal of all cladding from both sides of the internal dividing wall of the units 1 and 2.
- Extend dividing wall and fire-resistant rating through to the roof and sealing of the underside of the roof structure
- Extend the units onto the rear verandah under the existing roof remove floor and raise the verandah floor level to match the existing floor level to service the kitchen/utility room extension
- Demolition will involve the removal of asbestos material which is to be disposed of by qualified licenced tradesman
- Details of the work involved are showing on drawing number 5532/1 EXISTING UNITS EXTENSIONS AND REFURBISHMENT

Construction of new unit 3

- Floor area 118m²
- Consisting of: 2 bedrooms dining area kitchen bathroom living room laundry garage porch and pergola outdoor entertainment area
- To be constructed with timber frame external all cladding the same as proposed on the refurbished units 1 and 2 existing building with two dwellings, aluminium coated windows, Colourbond metal roof concrete floor slab, walls height 2.4m roof pitch 18.5 degrees
- Details of construction are showing on drawing 5532/4 ELEVATIONS AND SECTION DETAILS UNIT #3
- Parking on site consists of two visitor parking spaces a double carport and garage within unit #3.
- Landscaping is showing on the PLANE 5532/2 FLOOR LAYOUT PLAN UNIT #3 SITE & LANDSCAPE LAYOUT PLAN

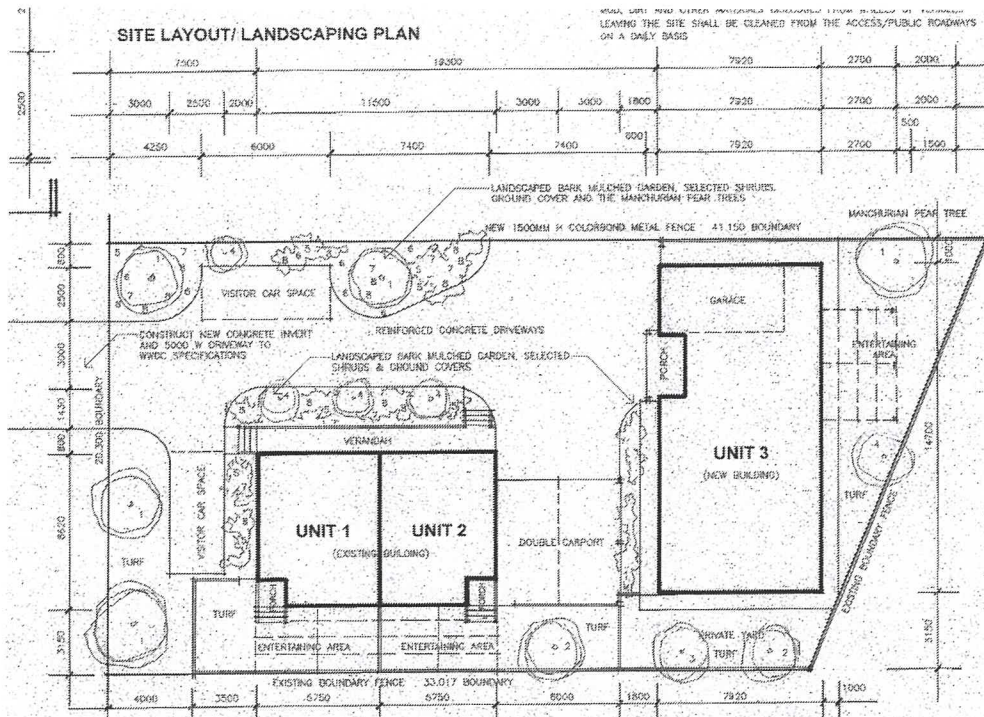
ATTACHMENTS

Drawings 5532	Dated	Prepared by
1 - EXISTING UNITS EXTENSION AND REFURBISHMENT	23/05/2020	Project Planning and Design
2 - FLOOR LAYOUT PLAYING UNIT #3 , SITE AND LANDSCAPING LAYOUT PLAN	23/05/2020	Project Planning and Design
3 - ELEVATIONS AND SECTION DETAILS UNIT 1 AND 2	23/05/2020	Project Planning and Design
4 - ELEVATIONS AND SECTION DETAILS UNIT #3	23/05/2020	Project Planning and Design
5 - SEWERAGE LAYOUT PLAN UNIT 1 AND 2	23/05/2020	Project Planning and Design
6 - STORM WATER AND SEWERAGE LAYOUT PLAN	23/05/2020	Project Planning and Design
7 ELECTRICAL LAYOUT PLAN UNIT 1, 2 & 3	23/05/2020	Project Planning and Design

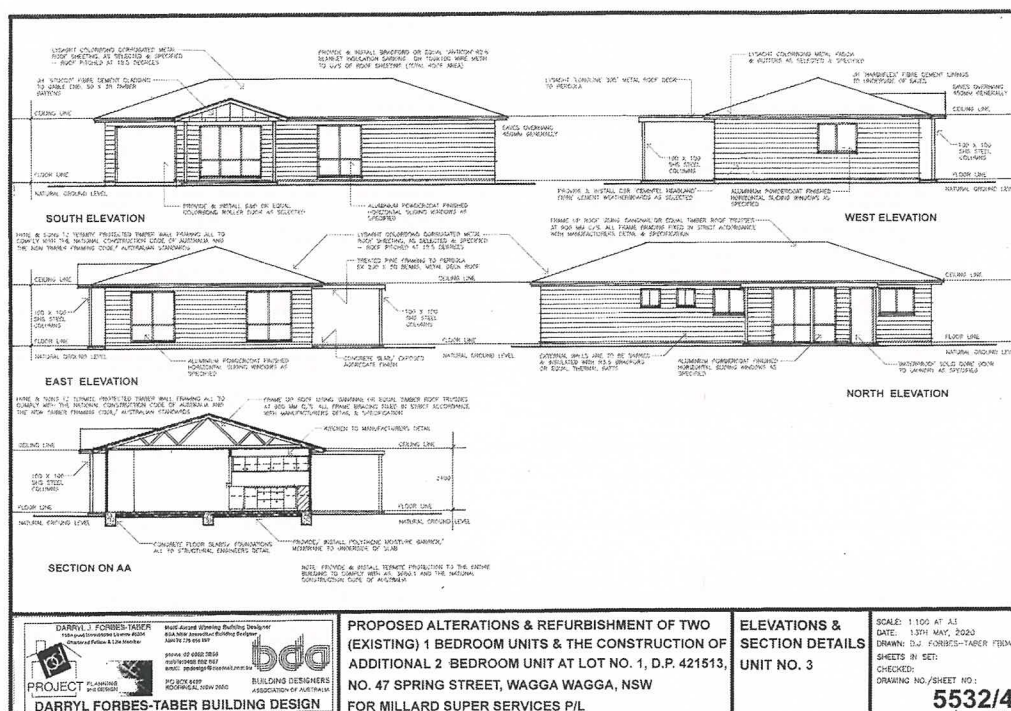
General Description

- Site Area :755m² (irregular shape)
- Side boundaries 33m and 42m
- Building setbacks
 - Northern boundary – 7m and 1m
 - Eastern boundary – 3.1m
 - Southern boundary – 7.5 metres
 - Western boundary - 1m (unit 3) and 10m (units 1&2 existing)

REFER TO DRAWING 5532/2 2 - FLOOR LAYOUT PLAYING UNIT #3 , SITE AND LANDSCAPING LAYOUT PLAN



Site Layout



LANDSCAPING:

- Landscaping is provided AS SHOWN ON THE ABOVE EXTRACT OF DRAWING 5532/2

PARKING: 3 residents' spaces 2 visitor spaces

SEPP (Koala Habitat Protection) 2019 #	No
SEPP (Mining, Petroleum Production and Extractive Industries) 2007 #	No
SEPP (Miscellaneous Consent Provisions) 2007 #	No
SEPP (Primary Production and Rural Development) 2019 #	No
SEPP (Vegetation in Non-Rural Areas) 2017 #	No
SEPP No 1—Development Standards #	No
SEPP No 21—Caravan Parks #	No
SEPP No 33—Hazardous and Offensive Development #	No
SEPP No 36—Manufactured Home Estates #	No
SEPP No 44—Koala Habitat Protection #	No
SEPP No 50—Canal Estate Development #	No
SEPP No 55—Remediation of Land #	Yes
SEPP No 64—Advertising and Signage #	No
SEPP No 65—Design Quality of Residential Apartment Development #	No

State Environmental Planning Policy No 55—Remediation of Land: Land

Application (pub. 28- 8-1998)



aerial photo 1971 WWCC GIS

Policy provisions

relevant

Object of this Policy

- (1) The object of this Policy is to provide for a State-wide planning approach to the remediation of contaminated land.
- (2) In particular, this Policy aims to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment—
 - (a) by specifying when consent is required, and when it is not required, for a remediation work, and

YES

(b) by specifying certain considerations that are relevant in rezoning land and in determining development applications in general and development applications for consent to carry out a remediation work in particular, and (c) by requiring that a remediation work meet certain standards and notification requirements.	
3 Notes	NOTED
4 Definitions contaminated land planning guidelines means guidelines under section 145C of the Act.	YES
5 Land to which this Policy applies	N/A
5A Maps	N/A
6 Contamination and remediation to be considered in zoning or rezoning proposal	N/A
7 Contamination and remediation to be considered in determining development application	YES
8 Remediation work permissible	NO
9 Category 1 remediation work: work needing consent	N/A
10 Consent authority in relation to remediation works	N/A
11 (Repealed)	N/A
12 Refusal of consent to category 1 remediation work	N/A
<u>13 (Repealed)</u>	N/A
14 Category 2 remediation work: work not needing consent	N/A
15 Remediation work that is ancillary to other development	N/A
16 Prior notice of category 2 remediation work	N/A
17 Guidelines and notices: all remediation work	N/A
18 Notice of completion of remediation work	N/A
19 Relationship to other environmental planning instruments	NOTED
19A Application of SEPP to certain development at Barangaroo subject to Part 3A approvals	N/A

RESPONSE

No information has been discovered information concerning contamination impacts on Lot 1 or land immediately adjacent which could affect the subject land. The land has been used for residential accommodation for over 50 years

COMPLIES

State Environmental Planning Policy Building Sustainability Index: BASIX 2004

Aim of Policy

- (1) Regulations under the Act have established a scheme to encourage sustainable residential development (**the BASIX scheme**) under which:
 - (a) an application for a development consent, complying development certificate or construction certificate in relation to certain kinds of residential development must be accompanied by a list of commitments by the applicant as to the manner in which the development will be carried out, and

- (b) the carrying out of residential development pursuant to the resulting development consent, complying development certificate or construction certificate will be subject to a condition requiring such commitments to be fulfilled.
- (2) The aim of this Policy is to ensure consistency in the implementation of the BASIX scheme throughout the State.
- (3) This Policy achieves its aim by overriding provisions of other environmental planning instruments and development control plans that would otherwise add to, subtract from or modify any obligations arising under the BASIX scheme.

RESPONSE

- Any resulting development consent, complying development certificate or construction certificate will be subject to a condition requiring such commitments to be fulfilled.
- The proposed refurbishment of units one and two provides an opportunity to upgrade the dwellings to the Building Code of Australia and BASIX requirements

Wagga Wagga Local Environmental Plan 2010

The plan provision to be considered in determining this application have been identified in the following table:

(the provisions considered relevant to the proposed development are marked "yes")

PROVISIONS	RELEVANT
Part 1 Preliminary	
1.1 Name of Plan	Yes
1.1AA Commencement	
1.2 Aims of Plan	Yes
1.3 Land to which Plan applies	Yes
1.4 Definitions	Yes
1.5 Notes	
1.6 Consent authority	
1.7 Maps	
1.8 Repeal of planning instruments applying to land	
1.8A Savings provision relating to pending development approvals	
1.9 Application of SEPPs	Yes
1.9A Suspension of covenants, agreements and instruments	
Part 2 Permitted or prohibited development	
2.1 Land use zones - Zone R1 General Residential	Yes
2.2 Zoning of land to which Plan applies	Yes
2.3 Zone objectives and Land Use Table	Yes

2.4 Unzoned land	
2.5 Additional permitted uses for particular land	
2.6 Subdivision—consent requirements	
2.7 Demolition requires development consent	
2.8 Temporary use of land	
Part 3 Exempt and complying development	
3.1 Exempt development	
3.2 Complying development	
3.3 Environmentally sensitive areas excluded	Yes
Part 4 Principal development standards	
4.1 Minimum subdivision lot size	
4.1A Exceptions to minimum subdivision lot sizes for certain split zones	
4.1AA Minimum subdivision lot size for community title schemes	
4.2 Rural subdivision	
4.2A Erection of dwelling houses and dual occupancies on land in certain residential, rural and environmental protection zones	
4.2B Minimum subdivision lot size for strata subdivision of residential or tourist and visitor accommodation in certain zones	
4.3 Height of buildings	Yes
4.4 Floor space ratio	Yes
4.5 Calculation of floor space ratio and site area	
4.6 Exceptions to development standards	
Part 5 Miscellaneous provisions	
5.1 Relevant acquisition authority	
5.2 Classification and reclassification of public land	
5.3 Development near zone boundaries	
5.4 Controls relating to miscellaneous permissible uses	
5.5 (Repealed)	
5.6 Architectural roof features	
5.7 Development below mean high water mark	
5.8 Conversion of fire alarms	
5.9, 5.9AA (Repealed)	
5.10 Heritage conservation	Yes
5.11 Bush fire hazard reduction	
5.12 Infrastructure development and use of existing buildings of the Crown	

5.13 Eco-tourist facilities	
5.14 Siding Spring Observatory—maintaining dark sky	
5.15 Defence communications facility	
5.16 Subdivision of, or dwellings on, land in certain rural, residential or environment protection zones	
5.17 Artificial waterbodies in environmentally sensitive areas in areas of operation of irrigation corporations	
5.18 Intensive livestock agriculture	
5.19 Pond-based, tank-based and oyster aquaculture	
Part 6 Urban release areas	
6.1 Arrangements for designated State public infrastructure	
6.2 Public utility infrastructure	
6.3 Development control plan	
6.4 Relationship between Part and remainder of Plan	
6.5 Lloyd Quarry site development	
Part 7 Additional local provisions	
7.1 Restriction on new dwellings at North Wagga Wagga	
7.1A Earthworks	Yes
7.2 Flood planning	Yes
7.3 Biodiversity	Yes
7.4 Vulnerable land	Yes
7.5 Riparian lands and waterways	Yes
7.6 Groundwater vulnerability	Yes
7.7 Protected regrowth for Native Vegetation Act 2003	
7.8 Cartwrights Hill Precinct—odour and noise assessment	
7.9 Primacy of Zone B3 Commercial Core	
7.10 Business premises in Zone B6 Enterprise Corridor	
7.11 Airspace operations	
7.12 Development in areas subject to aircraft noise	
Schedule 1 Additional permitted uses	
Schedule 2 Exempt development	
Schedule 3 Complying development	
Schedule 4 Classification and reclassification of public land	
Schedule 5 Environmental heritage	
Schedule 6 Pond-based and tank-based aquaculture	

RESPONSES TO RELEVANT PROVISIONS OF WAGGA WAGGA LOCAL ENVIRONMENTAL PLAN 2010

Part 1 Preliminary

1.1 Name of Plan

1.2 This Plan is Wagga Wagga Local Environmental Plan 2010.

RESPONSE: **Noted**

1.1AA Commencement

This Plan commences on the day on which it is published on the NSW legislation website.

RESPONSE: **Noted**

1.2 Aims of Plan

(1) *This Plan aims to make local environmental planning provisions for land in Wagga Wagga in accordance with the relevant standard environmental planning instrument under section 33A of the Act.*

(2) *The particular aims of this Plan are as follows:*

- (a) *to optimise the management and use of resources and ensure that choices and opportunities in relation to those resources remain for future generations,*
- (b) *to promote development that is consistent with the principles of ecologically sustainable development and the management of climate change,*
- (c) *to promote the sustainability of the natural attributes of Wagga Wagga, avoid or minimise impacts on environmental values and protect environmentally sensitive areas,*
- (d) *to co-ordinate development with the provision of public infrastructure and services.*

RESPONSE

- The proposed development is consistent with aims:
 - (a) *to optimise the management and use of resources and ensure that choices and opportunities in relation to those resources remain for future generations,*
 - (b) *to promote development that is consistent with the principles of ecologically sustainable development and the management of climate change,*
 - (d) *to co-ordinate development with the provision of public infrastructure and services.*

1.3 Land to which Plan applies

(1) *This Plan applies to the land identified on the Land Application Map.*

(1A) *Despite subclause (1), this Plan does not apply to the land identified on the Land Application Map as "Deferred matter".*

RESPONSE:

- The LEP 2010 plans have been considered in the preparation of this statement.

1.4 Definitions

RESPONSE

- The Dictionary at the end of this Plan defines words and expressions for the purposes of this Plan.
- The proposed development is characterised as:

residential accommodation means a building or place used predominantly as a place of residence, and includes any of the following—

- (a) *attached dwellings,*
- (b) *boarding houses,*
- (c) *dual occupancies,*

- (d) dwelling houses,
- (e) group homes,
- (f) hostels,
- (g) multi dwelling housing,**
- (h) residential flat buildings,
- (i) rural workers' dwellings,
- (j) secondary dwellings,
- (k) semi-detached dwellings,
- (l) seniors housing,
- (m) shop top housing,

but does not include tourist and visitor accommodation or caravan parks.

RESPONSE:

The proposed development is characterised as **multi dwelling housing**,

1.5 Notes

Notes in this Plan are provided for guidance and do not form part of this Plan.

1.6 Consent authority

The consent authority for the purposes of this Plan is (subject to the Act) the Council.

RESPONSE

- Wagga Wagga City Council is the consent authority.

1.7 Maps

(1) A reference in this Plan to a named map adopted by this Plan is a reference to a map by that name:

- (a) approved by the Minister when the map is adopted, and
- (b) as amended or replaced from time to time by maps declared by environmental planning instruments to amend or replace that map and approved by the Minister when the instruments are made.

(2) Any 2 or more named maps may be combined into a single map. In that case, a reference in this Plan to any such named map is a reference to the relevant part or aspect of the single map.

RESPONSE

- Maps consulted for preparation of Statement of Environmental Effects.

1.9 Application of SEPPs

(1) This Plan is subject to the provisions of any State environmental planning policy that prevails over this Plan as provided by section 36 of the Act.

RESPONSE Refer to pages 4 & 5 above

State Environmental Planning Policy No 55—Remediation of Land: Land Application

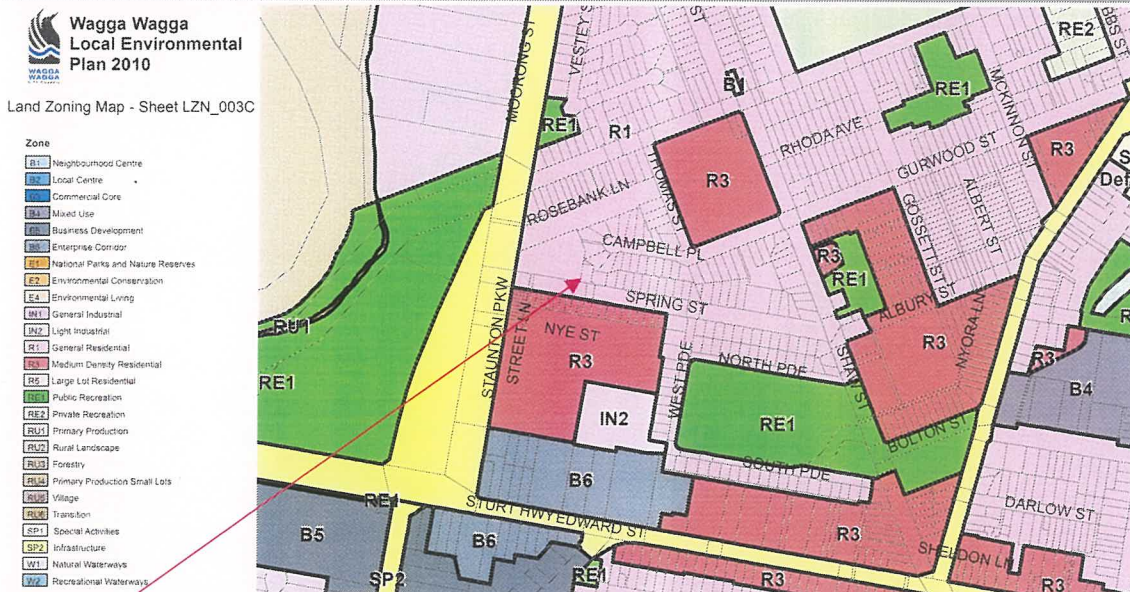
State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

1.9A Suspension of covenants, agreements and instruments

RESPONSE

- Not relevant to the subject land.

Part 2 Permitted or prohibited development



EXTRACT Land Zoning Map - Sheet LZN_003C

● Location of development site

2.1 Land use zones

RESPONSE:

Noted

2.3 Zone objectives and Land Use Table

Zone R1 General Residential

1 Objectives of zone

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To ensure co-ordinated and cost-effective provision of physical, social and cultural infrastructure in new residential areas.

2 Permitted without consent

Home businesses; Home occupations; Roads

3 Permitted with consent

Attached dwellings; Boarding houses; Centre-based child care facilities; Community facilities; Dwelling houses; Group homes; Home industries; Hostels; **Multi dwelling housing**; Neighbourhood shops; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Residential flat buildings; Respite day care centres; Semi-detached dwellings; Seniors housing; Shop top housing; Tank-based aquaculture; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Airstrips; Amusement centres; Animal boarding or training establishments; Backpackers' accommodation; Biosolids treatment facilities; Boat building and repair facilities; Camping grounds; Caravan parks; Cemeteries; Commercial premises; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Entertainment facilities; Extractive industries; Farm buildings; Farm stay accommodation; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Helipads;

Highway service centres; Home occupations (sex services); Hotel or motel accommodation; Industrial training facilities; Industries; Marinas; Mooring pens; Mortuaries; Open cut mining; Passenger transport facilities; Recreation facilities (indoor); Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Resource recovery facilities; Restricted premises; Rural industries; Rural workers' dwellings; Sewage treatment plants; Sex services premises; Storage premises; Transport depots; Truck depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Warehouse or distribution centres; Waste disposal facilities; Waste or resource management facilities; Water recycling facilities; Water treatment facilities; Wharf or boating facilities; Wholesale supplies

Part 4 Principal development standards

4.3 Height of buildings

(1) The objectives of this clause are as follows:

- (a) to enhance the vitality of Wagga Wagga city centre by facilitating medium and high density residential, commercial and retail development in a co-ordinated and cohesive manner,
- (b) to ensure the height of buildings complements the streetscape and character of the area in which the buildings are located,
- (c) to encourage mixed use development with residential components that have high residential amenity and active street frontages,
- (d) to ensure the height of buildings preserves the amenity of neighbouring properties in terms of visual bulk, access to sunlight and privacy and permits adequate sunlight to key areas of the public domain.

(2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.



Location of development site

RESPONSE

- The "height of the building map" is **not specified** maximum height as shown in the above extract. DCP2010 DEVELOPMENT STANDARDS WILL APPLY.

Maximum Floor Space Ratio (N:1)

N	1
T	2
X	4



Location of development site

Floor Space Ratio Map - Sheet FSR_003C (EXTRACT)

4.4 Floor space ratio

(1) The objectives of this clause are as follows:

- (a) to regulate the density of development and generation of vehicular and pedestrian traffic,
- (b) to facilitate development that contributes to the economic growth of Wagga Wagga city centre,
- (c) to ensure the bulk and scale of development does not have an unacceptable impact on the streetscape and character of the area in which the development is located.

(2) The maximum floor space ratio for a building on any land is not to exceed the floor space ratio shown for the land on the Floor Space Ratio Map.

RESPONSE:

- There is **no maximum floorspace ratio** for a building on this land shown on the floor space ratio map. See Map extract above.
- The Development Control Plan 2010 sets site coverage and boundary setbacks to regulate the development for the reasons of: health, safety, functionality, access, light and street aesthetics.

4.5 Calculation of floor space ratio and site area

RESPONSE:

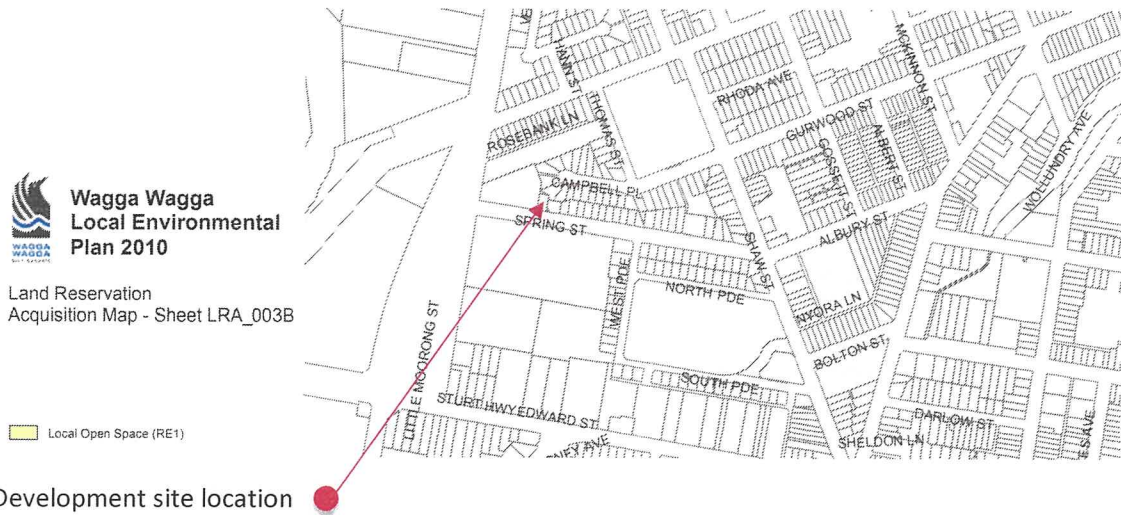
- Not applicable

4.6 Exceptions to development standards

RESPONSE

- Not applicable in this proposed development

5.1 Relevant acquisition authority



Land Reservation Acquisition Map - Sheet LRA_003B (EXTRACT)

RESPONSE

- Not relevant to this application.

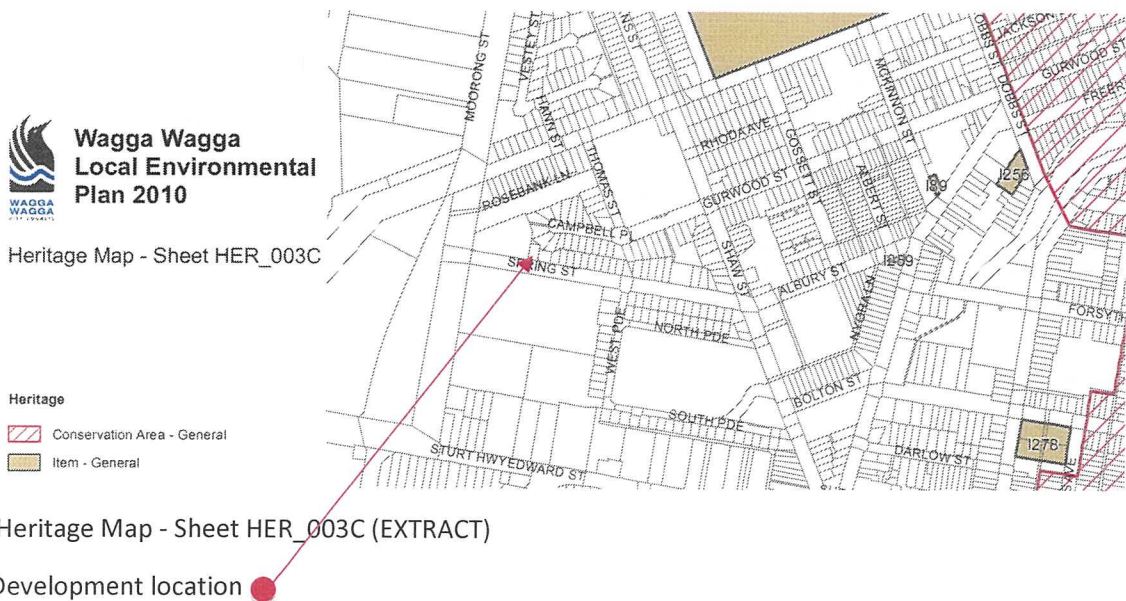
5.9 Preservation of trees or vegetation

(1) The objective of this clause is to preserve the amenity of the area through the preservation of trees and other vegetation.

RESPONSE

- Not relevant to this application as there is no vegetation of any significance present on the subject land.

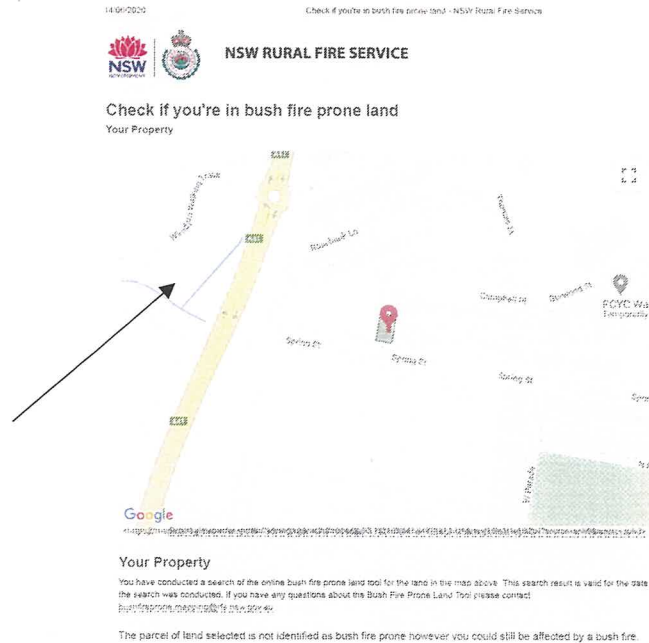
5.10 Heritage conservation



RESPONSE

- Not relevant to this application as can be seen in the map extract there are **no heritage items effected** by the proposed development.

5.11 Bush fire hazard reduction



RESPONSE

- Lot 1 not located in bushfire prone area. Refer to RFS check attached.

7.2 Flood planning

(1) The objectives of this clause are as follows:

- (a) to minimise the flood risk to life and property associated with the use of land,
- (b) to allow development on land that is compatible with the land's flood hazard, taking into account projected changes as a result of climate change,
- (c) to avoid significant adverse impacts on flood behaviour and the environment.

(2) This clause applies to:

- (a) land that is shown as "Flood planning area" on the Flood Planning Map, and
- (b) other land at or below the flood planning level.

(3) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that the development:

- (a) is compatible with the flood hazard of the land, and
- (b) will not significantly adversely affect flood behaviour resulting in detrimental increases in the potential flood affectation of other development or properties, and
- (c) incorporates appropriate measures to manage risk to life from flood, and
- (d) will not significantly adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses, and
- (e) is not likely to result in unsustainable social and economic costs to the community as a consequence of flooding.

(4) A word or expression used in this clause has the same meaning as it has in the NSW Government's *Floodplain Development Manual* published in 2005, unless it is otherwise defined in this clause.

(5) In this clause:

flood planning level means the level of a 1:100 ARI (average recurrent interval) flood event plus 0.5 metres freeboard.

Flood Planning Map means the Wagga Wagga Local Environmental Plan 2010 Flood Planning Map.

FLOODING



Lot 1 proposed development site location Extract from WWCC GIS

RESPONSE

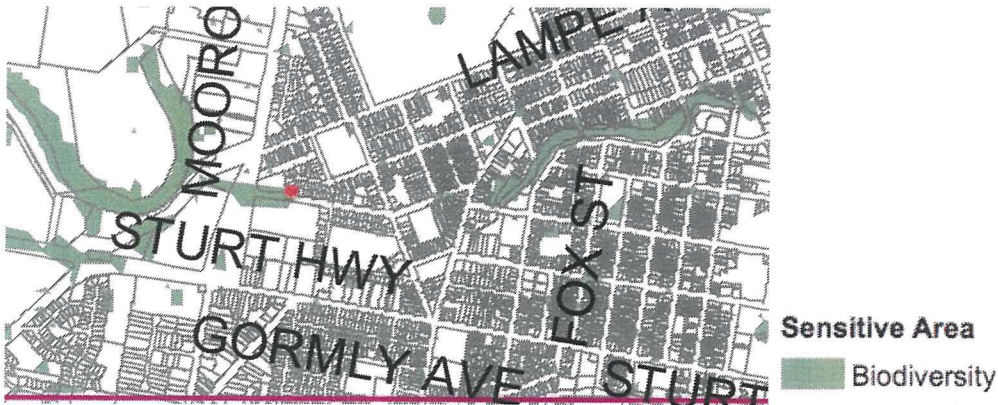
- Proposed development is protected by the city levee bank
- Building Floor height set to be determined by council

7.3 Environmentally sensitive land—biodiversity

(1) The objectives of this clause are to protect, maintain or improve the diversity of the native vegetation, including:

- (a) protecting biological diversity of native flora and fauna, and
- (b) protecting the ecological processes necessary for their continued existence, and
- (c) encouraging the recovery of threatened species, communities or populations and their habitats.

(2) This clause applies to development on land that is identified as a “Sensitive Area—Biodiversity” on the Natural Resources Sensitivity Map—Biodiversity.

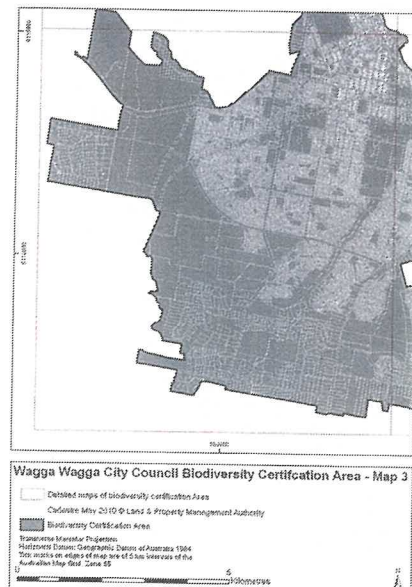


Lot 1 proposed development site

Terrestrial Biodiversity Map - Sheet BIO_003

RESPONSE

- Lot 1 has **no biodiversity value** as shown on the natural resources sensitivity map extract above.
- Lot 1 is within the biodiversity certification area via the government order of the 20/12/2010 see map 3



larger scale map in attachments

7.4 Environmentally sensitive land—land

(1) The objectives of this clause are to protect, maintain or improve the diversity and stability of landscapes, including:

- restricting development on land that is unsuitable for development due to steep slopes or shallow soils or both, and
- restricting development on land that is subject to soil salinity, and
- restricting the removal of native vegetation, and
- restricting development on land that is subject to permanent inundation, and
- restricting development on land with a high proportion of rock outcropping.

(2) This clause applies to land that is identified as a “Sensitive Area—Land” on the Natural Resources Sensitivity Map—Land.

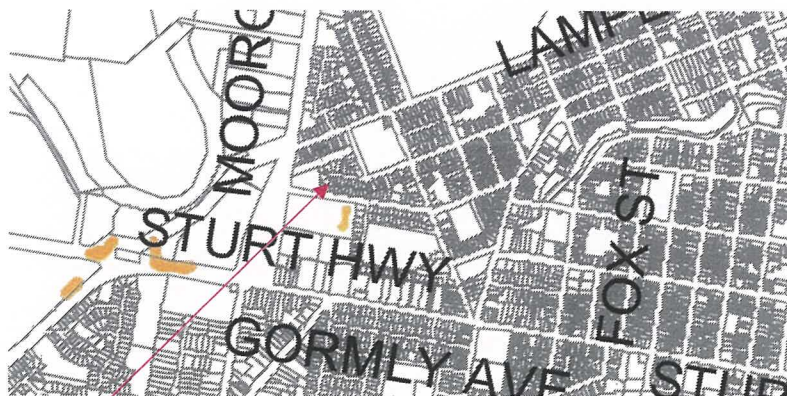


**Wagga Wagga
Local Environmental
Plan 2010**

Natural Resources Sensitivity
Map - Land

- Sheet NRL_003

Sensitive Area
Land



Development site location

Natural Resources Sensitivity Map – Land - Sheet NRL_003
RESPONSE

- Lot 1 is **not classified as environmentally sensitive land** as shown on the extract from the Natural Resource Sensitivity Map.

7.5 Environmentally sensitive land—water

(1) The objectives of this clause are to protect or improve:

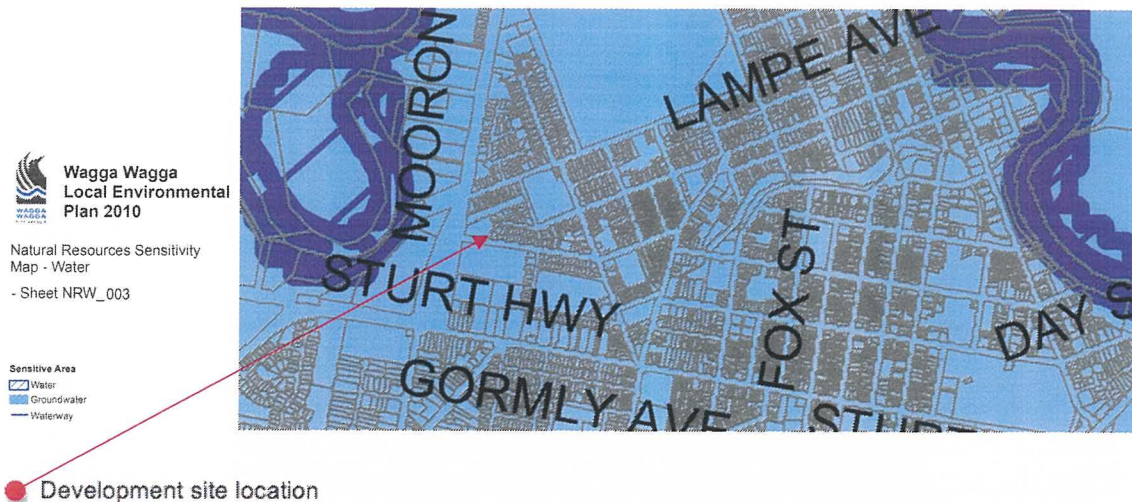
- (a) water quality within waterways, and
- (b) stability of the bed and banks of waterways, and
- (c) aquatic and riparian habitats, and
- (d) ecological processes within waterways and riparian areas, and
- (e) threatened aquatic species, communities, populations and their habitats, and
- (f) scenic and cultural heritage values of waterways and riparian areas, and
- (g) catchment protection to prevent increased sediment loads and stream bank erosion from entering lakes, rivers and waterways.

(2) This clause applies to land that is:

- (a) identified as a “Sensitive Area—Water” on the Natural Resources Sensitivity Map—Water, or
- (b) situated within 40 metres of the bank or shore (measured horizontally from the top of the bank or shore) of a waterway identified on the Natural Resources Sensitivity Map—Water.

RESPONSE

See Response 7.6



Natural Resources Sensitivity Map – Water - Sheet NRW_003 (EXTRACT)

7.6 Environmentally sensitive land—groundwater

- (1) The objective of this clause is to protect and preserve groundwater sources.
- (2) This clause applies to land that is identified as a “Sensitive Area—Groundwater” on the Natural Resources Sensitivity Map—Water.
- (3) Development consent must not be granted for development specified for the purposes of this clause on land to which this clause applies unless the consent authority is satisfied that the development:
 - (a) is unlikely to adversely impact on existing groundwater sources, and
 - (b) is unlikely to adversely impact on future extraction from groundwater sources for domestic and stock water supplies, and
 - (c) is designed to prevent adverse environmental impacts, including the risk of contamination of groundwater sources from on-site storage or disposal facilities.

RESPONSE

- Lot 1 has been classified as having some natural resource sensitivity in respect of **groundwater** as shown in the extract of the Natural Resources Sensitivity Map above.
- The proposed development is designed to prevent adverse environmental impacts, including the risk of contamination of groundwater sources from on-site storage or disposal facilities by the discharge of site run off and sewerage into Council’s stormwater drainage and sewerage systems that have been designed to service the site.

7.7 Protected re-growth for Native Vegetation Act 2003

RESPONSE

- Not relevant to this application.

(a)(ii) the provisions of any draft environmental planning instrument

RESPONSE

- There are NO Draft Planning Instruments applicable to the subject land.

(a)(iii) any development control plans

Wagga Wagga Development Control Plan 2010

Relevancy Table

SECTIONS	RELEVANT	COMPLIES
Part A		
Section 1 – General	YES	YES
Part B		
Section 2 – Controls that apply to all Developments	YES	YES
Section 3 – Heritage Conservation	YES	YES
Section 4 – Environmental Hazards and Management	YES	YES
Section 5 – Natural Resource and Landscape Management	YES	YES
Part C		
Section 6 - Village	NO	
Part D		
Section 7 – Subdivision	NO	
Section 8 – Rural Development	NO	
Section 9 – Residential Development	YES	YES
Section 10 – Business Development	NO	
Section 11 – Industrial Development	NO	
Section 12 – Specific Uses and Development	NO	
Part E		
Section 13 - Bomen Urban Release Area	NO	
Section 14 - Boorooma Urban Release Area	NO	
Section 15 - Lloyd Urban Release Area	NO	
Section 16 - Gobbagombalin Urban Release Area	NO	
Appendix 5 – Gobbagombalin Master Plan	NO	

PART A - Section 1 – General		COMPLIES
1.5 Guiding Principles		
GP1 Sustainability, climate change management, and efficient use of resources <ul style="list-style-type: none"> i. To protect and enhance the viability of natural systems ii. To achieve good environmental outcomes iii. To manage incremental change to retain sustainable outcomes. iv. To support waste minimisation strategies v. To protect the indigenous, European and natural heritage vi. To avoid use of rainforest and old growth timbers 		COMPLIES <p>The preparation of the Statement of Environmental Effects has recognised these General Guiding Principles.</p> <p>The Council's plans, development standards, policies and conditions of development consent in respect of development within the City are formulated to achieve these outcomes.</p>
GP2 Site responsive development <ul style="list-style-type: none"> i. To design for compatibility with topography, physical characteristics and setting ii. To achieve a positive contribution to the streetscape and/or natural environment 		COMPLIES <p>The proposed building is compatible and consistent with the flat site. The proposed building is consistent with the scale and character of the Spring Street. neighbourhood. SEE DRAWINGS 5532/1-4</p>
GP3 Design quality <ul style="list-style-type: none"> i. To achieve quality sustainable development ii. To respond to site conditions without imposing pre-determined designs 		COMPLIES <ul style="list-style-type: none"> i) Providing the refurbishment of the existing units will upgrade their current sustainability by complying with the NCC (BCA) and meeting BASIX certification requirements ii) The elevation treatment to Spring Street will remain basically the same in respect of the buildings with a visual improvement to the site new landscaping and driveways. .
GP4 Quality public domain Explanatory Note(s): <ul style="list-style-type: none"> i. To achieve vibrant and attractive public spaces ii. To enhance opportunities for community connection iii. To design for crime prevention and public safety <p>The four main principles of CPTED (Crime Through Environmental Design) have been taken into consideration</p> <ul style="list-style-type: none"> • - Natural surveillance. • - Natural access control. • - Territorial reinforcement. 		COMPLIES <ul style="list-style-type: none"> i) The elevation treatment to Spring Street will remain basically the same in respect of the buildings with a visual improvement to the site new landscaping and driveways. . ii) All entry points to the building can be seen from Spring Street. iii) All vehicles associated with the operation of the dwellings can enter and leave in a forward direction. iv) Spring street has a wide footpath with exist street trees with the existing

<ul style="list-style-type: none"> - Maintenance. 	<p>building setback 7.5m there will be no adverse impacts on or from the public domain.</p> <p>iii) CPTED response the provision of. External lighting and good natural surveillance from with a wide frontage to Spring Street is available and will remain unaffected by the proposed development. Addition lighting at the rear of the property will enhance the security of units 1 & 2. Potential will be created for the installation of hardwired security system and for CCTV.</p>
1.6 Relationship to other plans	Not Applicable
1.7 Structure of the Wagga Wagga Development Control Plan 2010	Noted
1.8 Using the Wagga Wagga Development Control Plan 2010	Noted
1.9 Lodging a Development Application	Noted
1.10 Notification of a Development Application	
<i>Multi dwelling housing</i>	<p>Notification Type B: Three lots either side of the lot on which development is proposed and three immediately adjoining at the rear plus three directly opposite the frontage of the development site in the street or rear lane. 14 days</p>
<p>1.11 Complying with the Wagga Wagga Development Control Plan 2010</p> <p><i>The controls in the DCP support the Guiding Principles and Section Objectives. A Development Application must satisfy the Guiding Principles, and the Objectives of the relevant sections. Equal emphasis must be given to both "numeric" and non-numeric controls relevant to a particular development. Complies with controls will not necessarily guarantee approval of an application.</i></p> <p><i>Where a variation is sought, the application must document the reasons and extent of the variation, and how the variation meets the Guiding Principles and Section Objectives for the consideration of the Council</i></p>	<p>Noted</p> <p>A VARIATION TO THE NUMERIC STANDARD OF SITE AREA PER DWELLING IN THE R1 General Residential zone is requested</p> <p>i.e. 375 m2 /dwelling</p> <p>Reasons are stated below.</p>

Part B	
Section 2 Controls that apply to all development	
2.1 Site Analysis Plan	COMPLIES
Objectives O1 <i>Encourage development that is responsive to site constraints and opportunities, and the surrounding context.</i> O2 <i>Complement and reinforce Council's Development Application Preparation and Lodgement Guide (the Guide) and Checklists.</i>	<p>O1 The building design and site layout has considered urban context, character of the area and responded to the site characteristics. Lot 1 is flat and cleared any significant vegetation.</p> <p>The resulting site coverage from the development is 29%. Permissible in the R1 zone is a site coverage of 50% see p35. This is attributed to the small floorspace of the existing units 1 & 2 thus affording the opportunity for the additional 2-bedroom unit.</p> <p>REFER to DRAWING 5532/2</p> <p>O2 The procedures and documentation required have been complied with.</p>
Site analysis requirements C1 <i>A site analysis plan is required for applications that propose substantial new work or construction but may not be necessary for applications that only involve minor construction, work or changes to a building – refer to explanatory note opposite.</i> C2 <i>A site analysis plan is to incorporate a range of details in relation to a number of elements specified in the Guide, including:</i> <ol style="list-style-type: none"> <i>Orientation and local solar context.</i> <i>Property details</i> <i>Landform and vegetation.</i> <i>Access.</i> <i>Heritage context.</i> 	<p>C1 and C2 The Attached plans incorporate the relevant information required.</p> <p>REFER TO PLAN 5532/2 showing utility services locations. The site is level and the development designed to drain stormwater to Spring Street Stormwater drainage system as shown.</p> <p>No presence of easements, AS SHOWN ON DRAWING 5532/2 SITE</p> <p>The existing units have an east / west orientation of living areas.</p> <p>The proposed unit 2 will have a north/south orientation for living areas.</p> <p>See attached Photo Gallery</p>
2.2 Vehicle access and movements	COMPLIES
Objectives O1 <i>Ensure the safety and efficiency of urban and rural roads.</i>	<p>O1 Safety and efficiency of Spring Street are retained as all vehicles entering and leaving the site can do so in a forward direction as shown on SEE DRAWING 5532/2</p>

<p><i>O2 Limit new access points to arterial roads or ensure alternative access is utilised where practical.</i></p>	<p>Note. Storm water drainage and engineering plans will be submitted with the construction certificate application. Drawing 5532/6 shows the stormwater and sewerage services.</p> <p>O2 Not applicable</p>
<p>Controls</p> <p><i>C1 Access should be from an alternative secondary frontage or other non-arterial road where possible.</i></p> <p><i>C2 A Traffic Impact Study may be required where adverse local traffic impacts may result from the development. The traffic impact study is to include the suitability of the proposal in terms of the design and location of the proposed access, and the likely nature, volume or frequency of traffic to be generated by the development.</i></p> <p><i>C3 Vehicles are to enter and leave in a forward direction.</i></p> <p><i>C4 Provide adequate areas for loading and unloading of goods on site. The loading space and facilities are to be appropriate to the scale of development.</i></p> <p><i>C5 Access driveways are not to be located opposite T-intersections or within 7m of a break in a median strip or intersection.</i></p> <p><i>C6 Ensure adequate sight lines for proposed driveways.</i></p>	<p>C1 Spring street is a non-arterial road.</p> <p>C2 A Traffic Impact Study is not considered necessary given the scale of the development.</p> <p>C3 All Vehicles can enter and leave in a forward direction on to Spring Street as shown on DRAWING 5532/2</p> <p>C4 Adequate areas have been provided. SEE DRAWING 5532/2</p> <p>C5 Not applicable.</p> <p>C6 The vertical and horizontal alignment of Spring Street at this location together with width of the footpath in Spring St provides good sight distances for vehicles entering and leaving the site.</p>
<p>2.3 Off-street parking</p>	<p>COMPLIES</p>
<p>Objectives</p> <p><i>O1 Ensure adequate provision is made for safe and efficient movement of vehicles and pedestrians.</i></p> <p><i>O2 Ensure the provision of safe and efficient parking for all modes of transport to meet anticipated demands.</i></p> <p><i>O3 Minimise disruptions to existing levels of service and safety as a result of insufficient parking being provided on site.</i></p> <p><i>O4 Soften the impacts of larger car parking areas through the use of landscaping.</i></p>	<p>O1 All vehicles associated with the development can access and move around the site in a safe and efficient manner.</p> <p>O2 The parking area is flat grades with good lines of sight. The design and layout of the parking spaces are in accordance with AS2890.1-2004 (No.11) SEE DRAWING 5532/2</p> <p>O3 The 5 parking spaces provided on the basis of: 3 for residents and 2 for visitors</p> <p>O4 The proposed landscaping will soften the extent of the Spring Street elevation and hard standing areas</p>

<p>O5 Provide both shade and solar access to car park users by means of purpose designed tree planting.</p>	<p>O5 The location of the car parks shade will be provided by the carport, garage, buildings and tree planting</p>
<p>Controls – parking rates</p> <p>C1 Parking is to be provided in accordance with the table below.</p> <p>C2 The design and layout of parking is to be in accordance with AS 2890.1-2004.</p> <p>C3 Parking spaces are to be provided for disabled persons. Accessible parking spaces to comply with AS 2890.1-1993.</p> <p>C4 For all uses other than single dwellings vehicles are to enter and leave the site in a forward motion unless it can be demonstrated that site conditions prevent it.</p> <p>C5 For mixed-use developments, the parking required is the total of requirements for each use. Variations can be considered where it can be demonstrated that the peak demand for each land use component is staggered or that development as a whole generates less parking than separable parts.</p> <p>C6 In the case of redevelopment or change of use the parking requirements are to be calculated by:</p> <p>a. Determine the parking requirement of the current or previous use in accordance with the table</p> <p>b. Determine the parking requirement for the new use</p> <p>c. Subtract the existing requirement from the requirement for the proposed use to determine the required number of spaces (i.e. a credit is provided for any shortfall that exists on the site for the current use).</p> <p>C7 Variations to the parking requirements may be considered where minor alterations and additions are proposed, and the changes do not encroach or reduce the current off-street parking spaces.</p> <p>C8 A traffic and parking study may be required for certain proposals, including but not limited to proposals for schools and other education uses including child care centres, business parks, hospitals, cinemas and gyms.</p> <p>C9 Provide trees within the parking area at a rate of 1 tree per 5 spaces. Each tree to have a minimum mature spread of 5m and to be located in a planting bed with minimum width of 1.5m</p>	<p>COMPLIES</p> <p>C1</p> <p><u>Table requirements:</u></p> <p>Land use: Multi-dwelling housing</p> <p>1 space/1-bedroom dwelling</p> <p>1.5 spaces/2-bedroom dwelling</p> <p>2 spaces/3 or more bedrooms or larger dwelling</p> <p>Visitor spaces – 1 per 4 dwellings where there are more than 4 dwellings (1 space required per 5-7 dwellings, 2 spaces per 8-11 dwellings, etc.)</p> <p>Calculation</p> <ul style="list-style-type: none"> • 2 X 1-bedroom dwelling @ 1 space each= 2 spaces • 1 X 2-bedroom dwelling @ 1.5 spaces each = 1.5spaces • Visitor spaces – 1 per 4 dwellings = 1space • TOTAL spaces required = 3.5 spaces • PROVIDED ON SITE = 5 SPACES <p>C2 all spaces comply</p> <p>C3 there is sufficient area for disabled parking within the site.</p> <p>C4 vehicles can enter and leave the site in a forward motion</p> <p>C5 Not applicable</p> <p>C6 Not applicable</p> <p>C7 Not Required</p> <p>C8 Not Required</p> <p>C9 See landscaping plan Legend</p>


<p>(between back of kerbs) and minimum area of 3.5m².</p> <p>C10 Planting beds located within a car park are to have a subsoil drainage system connected into the stormwater system of the site.</p> <p>C11 To ensure sightlines are maintained for drivers and pedestrians, trees used within or adjacent to car parking areas shall have a minimum clear trunk height of 2.5m, with shrubs and ground covers not to exceed 500mm in height.</p>	<p>C10 No planting beds located within a car park</p> <p>C11 sight lines clear</p>
LAND USE CAR PARKING REQUIREMENT	COMPLIES
<p>RESIDENTIAL ACCOMMODATION</p> <p>Land use: Multi-dwelling housing</p> <p>1 space/1-bedroom dwelling 1.5 spaces/2-bedroom dwelling 2 spaces/3 or more bedrooms or larger dwelling Visitor spaces – 1 per 4 dwellings where there are more than 4 dwellings (1 space required per 5-7 dwellings, 2 spaces per 8-11 dwellings, etc.)</p>	Noted
2.4 Landscaping	
<p>Objectives</p> <p>O1 Promote designed landscapes as part of a fully integrated approach to site development within residential, industrial and commercial areas.</p> <p>O2 Retain and protect existing vegetation, particularly large and medium trees, and conserve significant natural features of the site.</p> <p>O3 Encourage landscape that responds to existing site conditions, local character and creates and enhances living and working environments whilst discouraging the opportunities for crime and vandalism.</p> <p>O4 Ensure the landscape adequately complements the proposed built forms and minimises the impacts of scale, mass and bulk of the development on the existing area and surrounding streetscapes, view sheds and neighbourhood amenity.</p> <p>O5 Promote the use of indigenous and other low maintenance plant material suitable to the climatic extremes of the local area, particularly the use of plant material with low water requirements.</p> <p>O6 Encourage landscape that can be effectively maintained to a high standard for the life of the development.</p>	<p>COMPLIES O1, O2, O3, O4, O5, O6, O7</p> <p>The LANDSCAPING LEGEND on DRAWING 5532/2 indicates the mixture of indigenous and non-indigenous plants used.</p>


<p>O7 Enhance and define entry areas and to frame views from and into the development via the use of landscaping.</p>	
<p>Controls – All developments Landscape design</p> <p>C1 A landscape plan is required for applications for: · Commercial and Industrial developments · Residential development (other than dwelling houses).</p> <p>C2 Natural features at the site, such as trees, rock outcrops, cliffs, ledges and indigenous species and vegetation communities are to be retained and incorporated into the design of the development.</p> <p>C3 Use native and indigenous plants, especially low water consumption plants in preference to exotic species.</p> <p>C4 Trees should be planted at the front and rear of properties to provide tree canopy.</p> <p>C5 Provide landscaping in the front and side setback areas, and on other parts of the site to improve the streetscape, soften the appearance of buildings and paved areas, and to provide visual screening.</p> <p>C6 Landscaping should provide shade in summer without reducing solar access in winter. Limited use of deciduous species is acceptable where used to achieve passive solar design.</p>	<p>COMPLIES</p> <p>C1 See DRAWING 5532/2</p> <p>C2 Vacant site with no distinguishing natural features.</p> <p>C3 Proposed development complies. DRAWING 5532/2</p> <p>C4 Proposed development complies DRAWING 5532/2</p> <p>C5 Proposed development complies DRAWING 5532/2</p> <p>C6 The landscaping will provide shade and solar access in the winter months.</p>
<p>2.5 Signage</p>	<p>NOTE Signage will be the subject of a separate application</p>
<p>2.6 Safety and security</p>	<p>COMPLIES</p>
<p>Objectives</p> <p>O1 Incorporate crime prevention strategies in new developments.</p> <p>O2 Encourage active, pedestrian oriented environments where Explanatory Note(s): developments are designed to integrate into the public domain.</p> <p>O3 Maximise opportunities for natural surveillance of public spaces and building or site entrances.</p>	<p>O1 The Crime Prevention Strategy involves the site layout and external lighting with good natural surveillance from Spring Street will be available. In addition, hardwired security system and security company patrols will be operating. CCTV installed. This has been based on.</p> <p>The four main principles of CPTED (Crime Through Environmental Design) have been taken into consideration</p> <ul style="list-style-type: none"> • - Natural surveillance. • - Natural access control. • - Territorial reinforcement. • - Maintenance. <p>O2 On-site and street lighting will provide for well-lit car driveways and parking areas. Good natural surveillance exists within the sit and from Spring Street.</p> <p>O3 see O1</p>

Controls C1 Use good site planning to clearly define public, semi-public and private areas. C2 Entries are to be clearly visible and identifiable from the street, and are to give the resident/occupier a sense of personal address and shelter. For non-residential uses, administration offices or showroom are to be located at the front of the building. C3 Minimise blank walls along street frontages. C4 Avoid areas of potential concealment and 'blind' corners. C5 Provide lighting to external entry areas, driveways and car parks in accordance with the relevant Australian Standards. The lighting is to be designed and sited to minimise spill and potential nuisance to adjoining properties. C6 Planting and fencing is not to reduce the safety of users or compromise areas of natural surveillance. C7 Where a site provides a pedestrian through route the access path is to be clearly defined and sign posted, appropriately lit, and have satisfactory visibility. C8 Locate public toilets and rest areas to promote their use, and maximise public surveillance without creating visual intrusion.	COMPLIES C1 The site layout together with on-site signage will define the public, semi-public and private areas. C2 The entries are clearly visible and identifiable from the street, internal driveways, and parking areas. C3 No blank walls along Spring Street frontage. C4 No Blind corners within the driveways SEE DRAWING 5532/2 C5 Lighting to external entry areas, driveways and car parks. C6 The proposed landscape treatment and site layout will not reduce the safety of users or compromise areas of natural surveillance. C7 Not applicable C8 Not applicable																								
2.7 Changing the landform – cut and fill	COMPLIES Cut and fill limited to the construction of foundations for the building and the carpark.																								
2.8 Development adjoining open space	Not applicable																								
Section 3 Heritage Conservation	COMPLIES Not applicable refer to WWLEP 2010 Response																								
Section 4 Environmental Hazards and Management COMPLIES																									
4.1 Bushfire	COMPLIES Not applicable Not applicable refer to WWLEP 2010 Response																								
4.2 Flooding <table><tr><th>Flood risk precinct</th><th>Levee</th><th>Flood risk</th></tr><tr><td>Central Wagga</td><td>Protected by levee</td><td>Low</td></tr><tr><td>Central Wagga</td><td>Not protected by levee</td><td>High</td></tr><tr><td>North Wagga</td><td>Protected by levee</td><td>High</td></tr><tr><td>Gumly/Oura/Collingullie</td><td>N/A</td><td>High</td></tr><tr><td>Rural floodplain</td><td>N/A</td><td>Low</td></tr><tr><td>Rural floodplain</td><td>N/A</td><td>High</td></tr><tr><td>Eastern Industrial</td><td>N/A</td><td>Medium</td></tr></table> Objectives	Flood risk precinct	Levee	Flood risk	Central Wagga	Protected by levee	Low	Central Wagga	Not protected by levee	High	North Wagga	Protected by levee	High	Gumly/Oura/Collingullie	N/A	High	Rural floodplain	N/A	Low	Rural floodplain	N/A	High	Eastern Industrial	N/A	Medium	COMPLIES Lot 1 located in Flood precinct “Central Wagga” <ul style="list-style-type: none">• levee protected• flood risk low
Flood risk precinct	Levee	Flood risk																							
Central Wagga	Protected by levee	Low																							
Central Wagga	Not protected by levee	High																							
North Wagga	Protected by levee	High																							
Gumly/Oura/Collingullie	N/A	High																							
Rural floodplain	N/A	Low																							
Rural floodplain	N/A	High																							
Eastern Industrial	N/A	Medium																							

<p>O1 Minimise the public and private costs of flood damage.</p> <p>O2 Minimise the risk of life during floods by encouraging construction and development that is "flood proofed" and compatible with the flood risk of the area.</p> <p>O3 Ensure that development and construction are compatible with the flood hazard.</p> <p>O4 Require compatibility with the Flood Plain Development Manual 2010 as relevant.</p> <p>Controls – flood liable areas</p> <p>A minimum of 500mm above the relevant flood planning level.</p> <p>C1 Essential community services are not suitable for location in any of the flood risk precincts other than Central Wagga where they are to be above the Probable Maximum Flood (PMF) level. For the purposes of this Section, essential community services include:</p> <ul style="list-style-type: none"> Community, information and education facilities which may provide an important role in notifying the community of flood dangers or evacuation requirements during flood events. Emergency services facilities. Health service facilities. <p>C2 Critical utilities are to be located on land above the PMF level in all precincts. For the purposes of this Section critical utilities include:</p> <ul style="list-style-type: none"> Child care centres. Educational establishments. Electricity generating works. Liquid fuel depots. Offensive or hazardous industries. <p>Table 4.2.1 Requirements for development in Wagga Central Business Area (Protected by levee)</p> <p>Residential Floor levels</p> <ul style="list-style-type: none"> Minimum floor height 225mm above ground level within the building footprint 	<p>A minimum of 225 mm above the relevant flood planning level to be advised by Council</p>
Section 5 Natural Resource and Landscape Management COMPLIES	
5.1 Development on ridges and prominent hills	Not relevant
5.2 Preservation of trees	No significant vegetation on Lot 1
5.3 Native Vegetation Cover	Not relevant
5.4 Environmentally sensitive land	<p>COMPLIES</p> <p>The development is not likely to significantly affect threatened species as it is within the bio certified area. SEE ATTACHED BIODIVERSITY CERTIFIED AREA MAP NUMBER 4</p>

Section 9 Residential Development	
Principles for residential development <i>Sustainability and efficient use of resources</i> P1 Use passive solar design principles to maximise thermal performance for good internal amenity.	<p>COMPLIES</p> <p>The principles have been considered and reflected in the:</p>

<p>P2 Select materials to support good thermal performance and maximise the sustainability of the design. P3 Achieve a density and scale that reflects the zone and proximity of the site to transport, shops, schools or community uses. P4 Implement resource reuse</p> <p>Design quality P5 Building siting, footprint, scale and bulk should be compatible with adjoining development and the established or intended built form. P6 Integrate building design and landscaping with north facing internal living areas that link to quality private open space.</p> <p>Site responsive development P7 Respond to the issues highlighted in the site analysis, taking advantage of natural features, minimising potential impacts to neighbours and achieving compatibility with neighbourhood character. P8 Minimise changes to the natural landform, especially in environmentally sensitive or visually prominent areas. P9 Visual and acoustic privacy are important for good residential amenity. When designing new developments care should be exercised to ensure that impacts on the privacy of adjoining developments is minimised when designing new development and to ensure the privacy of occupants of the new development.</p> <p>Quality public domain P10 Provide an attractive street address that integrates the public and private domain through landscaping and attractive fencing</p>	<ul style="list-style-type: none"> • building design and site layout and compliance with the relevant objectives and controls contained in WWDCP 2010 • refer to comments below and the drawings 5532/1-7
9.1 Land Use Directions	
9.1.1 Central Wagga Wagga = Zone B3 Commercial Core	Not Applicable
<p>9.1.2 R1 Zone – established suburbs</p> <p>Future directions and opportunities The LEP allows a range of housing types in the R1 Zone. Where possible developments should seek to include different dwelling types, such as secondary dwellings and attached dwellings, to achieve variety and housing choice for future residents, especially where the site characteristics or location are suitable. Future development should respect the established character in the vicinity of the site, and aim to contribute positively to the streetscape and overall environmental quality of the locality.</p>  <p style="text-align: right;">LOT1</p>	<p>COMPLIES</p> <p>The development provides a variety and housing choice for future residents, as both the site characteristics and location are suitable.</p> <p>Future development will respect the established character in the vicinity of the site and aim to contribute positively to the streetscape and overall environmental quality of the locality.</p> <p>The adjacent plan shows the proposed and approved development of the adjoining lot at 51 Spring Street. The additional dwelling at 47 Spring Street compliments the density of dwellings with less site coverage.</p>
9.1.3 R3 (medium density) Zone in-fill potential	Not Applicable
9.1.4 R3 Zone – redevelopment areas	Not Applicable
9.1.5 R3 Zone – Staunton Estate	Not Applicable
9.2 Site context and layout	
<p>9.2.1 Site layout</p> <p><i>Objectives</i></p> <p>O1 Encourage site responsive development that is compatible with existing or desired built form.</p>	<p>COMPLIES</p> <p>The site layout and building design shown in the attached drawing 5532/1 to7 demonstrate compliance</p>

<p>O2 Facilitate sustainable development through passive solar design.</p> <p>O3 Integrate landscaping and built form.</p> <p>O4 Encourage designs which respond to the physical context and characteristics of the particular site.</p> <p>O5 Encourage design that maximises the opportunity for passive surveillance of communal spaces from private living areas.</p> <p><i>Controls</i></p> <p>C1 Use site characteristics such as trees, changes in level or rock outcrops as features within the site layout.</p> <p>C2 Integrate access, landscaping, and services in the site layout, avoiding underutilised spaces.</p> <p>C3 Orient living spaces to maximise solar access.</p> <p>C4 Facilitate natural cross ventilation within dwellings through the location of windows and doors.</p>	<p>with the objectives O1 to O5 and Controls C1 to C4</p>
<p>9.2.2 Streetscape</p>  <p><i>Objectives</i></p> <p>O1 Encourage compatibility with existing built form.</p> <p>O2 Encourage attractive streetscapes.</p> <p>O3 Ensure a strong street edge with good definition between the public and private domain.</p> <p>O4 In locations where front fences are an important feature of the established streetscape, ensure that new fences complement the character of the streetscape.</p> <p><i>Controls</i></p> <p>C1 Provide a street address and front elevation that is consistent with the predominant scale, rhythm and form of the street.</p> <p>C2 Front fence height forward of the building line is not to exceed 1200mm. However, a side boundary fence forward of the building line may be permitted to taper from the maximum permitted height (1.8 metres) at the building line down to the 1200mm maximum permitted height at the front boundary.</p> <p>C3 Fence height at and behind the building line is not to exceed 1800mm in height.</p> <p>C4 The majority of windows in dwelling wall which face the street should be windows of habitable rooms.</p>	<p>COMPLIES</p> <p>The site layout and building design shown in the attached drawing 5532/1 to 7 demonstrate compliance with the <i>objectives</i> O1 to O3 not O4 is not relevant at this location.</p> <p>Controls C1 and C4 are satisfied</p> <p>C2 to C3 re fences are not relevant</p>
<p>9.2.3 Corner lots and secondary facades</p>	<p>Not Applicable</p>

<p>9.2.4 Sloping sites</p> <p><i>Objectives</i> O1 Encourage site responsive development. O2 Encourage building design that is appropriate to the site conditions. O3 If an alternate design is possible, avoid development that would require cutting into the site.</p> <p><i>Controls</i> C1 Use pier, split level or suspended floor designs on sloping sites</p>	<p>Not Applicable</p>																	
<p>9.3 Site area, building form and envelope</p>																		
<p>9.3.1 Site area per dwelling</p> <p><i>Objectives</i></p> <p>O1 Ensure adequate area to provide separation between buildings, landscaping and private open space.</p> <p>O2 Maintain development patterns that are compatible with the established character of established residential areas.</p> <p>O3 Encourage maximum utilisation of land in the R3 Zone.</p> <p><i>Controls</i></p> <p>C1 The minimum area of any site in an R1 Zone on which development is carried out is to be in accordance with Table 9.3.1a.</p> <p>C2 The maximum site of any land in an R3 Zone on which development is carried out is to be in accordance with Table 9.3.1a.</p> <p>C3 On larger sites the site area per dwelling may be distributed to provide a range of lot sizes, and to respond to site conditions and context.</p> <table><caption>Table 9.3.1a Land area per dwelling</caption><tr><th rowspan="2"></th><th colspan="2">Land area per dwelling</th></tr><tr><th>R1 Zone (Min)</th><th>R3 Zone (Max)</th></tr><tr><td>Single dwellings</td><td>400m²</td><td>300m²</td></tr><tr><td>Dual occupancy/attached dwellings</td><td>375m²</td><td>300m²</td></tr><tr><td>Multi-dwelling housing</td><td>375m²</td><td>350m²</td></tr><tr><td>Residential flat buildings</td><td>375m²</td><td>300m²</td></tr></table>		Land area per dwelling		R1 Zone (Min)	R3 Zone (Max)	Single dwellings	400m ²	300m ²	Dual occupancy/attached dwellings	375m ²	300m ²	Multi-dwelling housing	375m ²	350m ²	Residential flat buildings	375m ²	300m ²	<p>COMPLIES with <i>objectives</i> O1 & O2 this is demonstrated in the lot layout, aerial photos provided and photos of adjoining and adjacent development O3 is Not Applicable.</p> <p><i>Controls</i></p> <p>C1 NON COMPLIANCE</p> <p>Variation to the land area per dwelling for Multi-dwelling housing (375 m2) is requested based on the following grounds:</p> <ul style="list-style-type: none">• The existing site coverage is 12%• The proposed site coverage is 29% when 50% is permitted. This site coverage is out of character with the neighbourhood• The adjoining land to the west and adjacent land to south are being developed at 315m2 /dwelling.• No 47 is at the western end of the Spring Street streetscape the proposed development will not change the rhythm of the detached dwelling streetscape.• The refurbishment of the existing one-bedroom units will improve the livability and fire safety for occupants and neighbours.
		Land area per dwelling																
	R1 Zone (Min)	R3 Zone (Max)																
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Residential flat buildings	375m ²	300m ²																
<p>9.3.2 Site cover</p> <p><i>Objectives</i></p> <p>O1 Ensure that development sites are of sufficient size for dual occupancy, multi dwelling housing and residential flat developments.</p> <p>O2 Ensure adequate areas for access, parking, landscaping, useable garden and outdoor areas and natural runoff.</p> <p>O3 Retain compatibility with site context and avoid over development resulting from excessive site cover.</p> <p><i>Controls</i></p> <p>C1 Maximum site cover is to be in accordance with Table 9.3.2a</p>	<p>COMPLIES</p> <p><i>Objectives</i> O1,O2 & O3 are satisfied:</p> <ul style="list-style-type: none">• The existing site coverage is 12%• The proposed site coverage is 29% when 50% is permitted. This site coverage is out of character with the neighbourhood. <p><i>Controls</i></p> <p>C1 Satisfied development site coverage 29% when 50% is permitted for a lot size of 755m2.</p>																	

Table 9.3.2a Maximum site cover <table border="1"> <thead> <tr> <th rowspan="2">Single dwellings¹ site area</th><th colspan="2">Site cover (max)</th></tr> <tr> <th>R1 Zone</th><th>R3 Zone</th></tr> </thead> <tbody> <tr> <td>less than 600m²</td><td>60% #</td><td>60% #</td></tr> <tr> <td>600m² – 900m²</td><td>50%</td><td>50%</td></tr> <tr> <td>900m²- 1500m²</td><td>40%</td><td>40%</td></tr> <tr> <td>Greater than 1500m²</td><td>30%</td><td>30%</td></tr> <tr> <td>Secondary dwellings</td><td>50%</td><td>50%</td></tr> <tr> <td>Dual occupancy</td><td>50%</td><td>50%</td></tr> <tr> <td>Multi-dwelling housing</td><td>40%</td><td>40%</td></tr> <tr> <td>Residential flat buildings</td><td>40%</td><td>40%</td></tr> </tbody> </table>		Single dwellings ¹ site area	Site cover (max)		R1 Zone	R3 Zone	less than 600m ²	60% #	60% #	600m ² – 900m ²	50%	50%	900m ² - 1500m ²	40%	40%	Greater than 1500m ²	30%	30%	Secondary dwellings	50%	50%	Dual occupancy	50%	50%	Multi-dwelling housing	40%	40%	Residential flat buildings	40%	40%	
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9.3.3 R3 Zones - Minimum frontage		Not Applicable																													
9.3.4 Solar access <i>Objectives</i> O1 Ensure that the amenity of the occupants of dwellings is achieved by designing so that they receive adequate daylight and natural ventilation to habitable rooms and sunlight to private open space areas. O2 Ensure non-habitable rooms such as garages, laundries and bathrooms are positioned so that living areas, open space and habitable rooms receive maximum winter solar access and ventilation. O3 Maintain reasonable sunlight access to adjoining properties. <i>Controls</i> C1 Locate garages, laundries and bathrooms to provide insulation from western sun. C2 Locate living areas and private open space to ensure orientation to the north and north east where possible. C3 Building design and site layout is to ensure adequate sunlight access to the internal living spaces and private open space of the proposed development. C4 Variations can be considered to C1, C2 and C3 where it can be demonstrated that site constraints, existing built form and good design practices limit the ability of the proposal to comply with these controls. C5 Residential Flat developments are to comply with the solar controls of SEPP 65 and associated documents as amended. C6 For any adjacent dwellings that have north facing living areas, maintain 3 hours sunlight access to the windows of the living areas between 9am and 3pm in mid-winter (June 22). C7 Variations to C6 above can be considered where it can be demonstrated that any form of reasonable development on the lot would cause non-compliance with C6. In this instance the impacts are to be minimised where possible. C8 Proposed development design should take into account the location of any adjacent private open space and avoid excess overshadowing of that space.		COMPLIES <i>Objectives</i> O1 / O2 daylight and natural ventilation to habitable rooms to units 1 & 2 remains unchanged. Sunlight to the private open space areas has been increased with the provision of turfed areas outside the existing entertainment areas. See Drawing 5532/1. The new unit 3 has a north/south orientation with the kitchen and living area receiving northern sunlight. See drawing 5532/2 C3 The existing units 1 & 3 are located on the eastern side of Lot 1 in single story construction and present no solar access problems for the adjoining residents on 45 Spring Street. The new unit 3 single storey in height located on the northern boundary of lot 1 at the rear presents no solar access issues for the adjoining neighbours. C4.C5.C6.C7 and C8 are Not Applicable																													
9.3.5 Private open space <i>Objectives</i> O1 Provide quality, useable private open space. O2 Ensure adequate areas for recreation and outdoor living. O3 Encourage good connection between dwellings and private open space. <i>Controls</i> C1 At least 24m ² of private open space is required per dwelling. The private open space is to be directly accessible to the		COMPLIES <i>Objectives</i> O1 & O2 are satisfied by the building design and site layout. See drawing 5532/2 <i>Controls</i>																													

<p>main living area and have a minimum dimension of 4m. C2 Enclosure of approved private open space will be permitted, however at least one side of the approved private open space is to remain open. Roofing of approved private open space is permitted provided that BASIX requirements are not compromised. C3 Use screening where necessary to ensure the privacy of private open space areas. C4 For residential flat developments and shop top housing, each unit without direct access to ground level must have a balcony with a minimum area of 8m², and minimum dimension of 2m that is directly accessible from the main living area.</p>	<p>C1 open space provided: Unit 1= 35m² /Unit 2= 37m² Unit 3= 87m² C2 The covered entertainment areas are open on three sides (see Drawing 5532/3 Elevations & Sections) C3 Screening (1.5m net screen colorbond metal) is used between the entertainment areas of units 1 & 2 See Drawing 5523/2 C4 Not applicable</p>
<p>9.3.6 Front setbacks</p>	<p>COMPLIES The existing setback of the building comprising units 1 and 2 remains unchanged i.e. 7.5m</p>
<p>9.3.7 Side and rear setbacks <i>Objectives</i> O1 Ensure adequate separation between buildings for landscaping, privacy, natural light and ventilation. O2 Ensure new development continues the rhythm or pattern of development in the locality. O3 Provide access for maintenance. O4 Building setbacks from the side and rear boundaries shall have careful regard to the impact of proposed structures on adjoining landowners. <i>Controls</i> C1 The rear setback for detached secondary dwellings is determined by site conditions and the setbacks of similar structures on adjoining and nearby sites. C2 Any point of a building must have a setback from the side boundary nearest to that point of at least: a) If the lot is in Zone R5 a setback of 2m, or b) If the lot is in Zone RU1, RU2 or RU4 a setback of 10m</p>	<p>COMPLIES <i>Objectives</i> O1 to O4 are satisfied:</p> <ul style="list-style-type: none"> • Building setbacks <ul style="list-style-type: none"> ○ Northern boundary – 7m and 1m ○ Eastern boundary – 3.1m ○ Southern boundary – 7.5 metres ○ Western boundary - 1m (unit 3) and 10m (units 1&2 existing) <p>Controls C1 to C2 not applicable</p>
<p>9.4 Design details</p>	
<p>9.4.1 Building elements Quality built form is supported by clever use of building elements such as balconies, eaves, sun shading devices and appropriate use of materials. <i>Objectives</i> O1 Encourage quality and visually interesting buildings through the use of building elements. O2 Facilitate passive solar design principles. <i>Controls</i> C1 Use verandas or pergolas to link internal and external living areas. C2 Porches are to be integrated into the building design and are to be used to create a sheltered and clearly visible entry. C3 Locate ancillary components such as aerials, satellite dishes, air conditioning units and the like so they are not visible from the street. C4 For dual occupancy developments, each dwelling is to have a separate entry. C5 Secondary dwellings are to appear as a single occupancy from the public domain.</p>	<p>COMPLIES The proposed development uses modern materials (fibre cement weatherboards and colorbond corrugated metal roofing). These materials will be placed on both the new and existing unit buildings. The external appearance will integrate the old building with the new and harmonise with other recently constructed dwellings in the area. The objectives and controls have been satisfied by the building design of unit 3 and the refurbishment and alterations to units 1 & 2.</p>
<p>9.4.2 Materials and finishes Cladding materials should be environmentally responsive and should contribute to a quality streetscape. <i>Objectives</i> O1 Encourage the use of external materials and finishes that are suited to their location and support consistent quality streetscapes. O2 Encourage use of materials that have good thermal performance. O3 Promote the use of materials</p>	<p>COMPLIES <i>Objectives</i> See comments 9.4.1 Building elements. <i>Controls</i></p>

<p>that are climate responsive and contribute to innovative building design. O4 Discourage corporate colours in building facades. <i>Controls</i> C1 Select materials for their environmental performance, durability, detail and appearance to achieve quality appearance. C2 Avoid large unbroken expanses of any single material. C3 Minimise use of highly reflective or glossy materials on building exteriors. C4 Use contrasting materials in combination with design elements for features such as corner elements. C5 For larger developments, use recessive colours for the upper levels to help minimise building bulk. C6 For residential developments, corporate colours (when used in relation to a corporate identity) are not to dominate the building facade. The colours should integrate with the existing/proposed external materials and finishes to support a consistent quality streetscape.</p>	<p>The BASIX certification will ensure compliance with the relevant controls</p> <p>Note: synthetic resin will be applied to the face brick southern wall of unit 1 and painted to match the new external wall cladding</p>
<p>9.4.3 Privacy</p> <p>Visual and acoustic privacy are important for good residential amenity. The site analysis should identify potential threats to privacy and areas where special attention is required to minimise potential impacts to adjoining and nearby properties.</p> <p><i>Objectives</i> O1 Ensure privacy within new developments and avoid potential impacts to existing properties. O2 Ensure adequate acoustic privacy within dwellings.</p> <p><i>Controls</i> Visual privacy</p> <p>C1 Offset windows, balconies and private open space areas between adjoining dwellings. C2 Provide adequate building separation within the development and from neighbouring buildings/adjacent land uses. Alternate design elements, including (but not limited to) opaque screens of appropriate dimensions, translucent or highlight windows may be used to improve privacy. C3 Screening is required where there is direct line of sight between neighbouring balconies or private open space areas, or between windows and door openings of habitable rooms.</p>	<p>COMPLIES</p> <p>Objectives O1 to O2 have been satisfied by:</p> <ul style="list-style-type: none"> the site layout improvements to the existing units 1 & 2 <p>Controls C1 to C3 have been satisfied by:</p> <ul style="list-style-type: none"> Site layout Existing building upgraded to NCC/BCA requirements The erection of 1500mm screen colorbond fences <p>See Drawing 5532/1</p>
<p>9.4.4 Garages, carports, sheds and driveways</p> <p>Design of garages, carports, sheds and driveways must contribute in a positive way to the streetscape and character of the locality.</p> <p><i>Objectives</i> O1 Minimise the visual dominance of garages and driveways in the streetscape. O2 Where possible, locate garages so as to assist in protecting dwellings from early morning and late afternoon summer sun.</p> <p><i>Controls</i> C1 Where garage doors form part of the facade of a dwelling fronting a public road - the garage door is to be: less than 50% of the width of the house* no wider than 6m # maximum 2.4m high # - double garages are only permitted on lots 12.5m wide or greater* - single fronted tandem garages with one space behind the other are permitted * - Variations to these controls may be considered for multi storey dwellings # - Variations to these controls may be considered where the setback of the dwelling exceeds 10 metres. C2 Garages, carports and sheds that open up to a laneway must be setback a minimum of 1m from the property boundary. C3 The floor area of an outbuilding on a residential lot must not be more than the following: (a) 8% of the site area if the lot has an area of less than 600m², (b) 8% of the area or a maximum area of 175m², whichever is the lesser, if the</p>	<p>COMPLIES</p> <p>The proposed carports and garage (landscape screening) are not visible from Spring Street. See Drawing 5532/2</p> <p><i>Objectives</i> O1 to O2 are satisfied</p> <p><i>Controls</i> C1 to C7 where relevant are satisfied</p>

<p>lot has an area of at least 600m² but less than 4000m², (c) Lots greater than 4000m² will be considered on their merits. C4 The total cumulative floor area of all outbuildings on any one property shall not exceed 8% of the site area or a maximum area of 300m², whichever is the lesser. C5 Sheds may only be erected on residential land where a dwelling house is constructed or under construction and must be used for purposes ancillary to the residential use of the land. C6 The height of an outbuilding or the alterations and additions to an existing outbuilding on a lot must not be more than 4.8m above ground level (existing). The building shall be single storey construction with a maximum roof pitch of 27 degrees or steeper to match the roof pitch of the house. C7 An outbuilding shall not be located in front of the main building line. Variations may be considered for a balcony, deck, patio, pergola, terrace or verandah.</p>	
<p>9.4.5 Site facilities Objectives O1 Ensure site facilities are integrated into site design, and are convenient, visually discreet and easy to maintain</p>	<p>COMPLIES The proposed entertainment areas are behind each dwelling and not visible to the neighbours.</p>
<p>9.4.6 Changing the landform – cut and fill</p> <p><i>Earthworks</i> (including cut and fill) require development consent under the LEP. This section contains controls for changes to the natural landform through excavation and fill in order to minimise environmental impacts, and to avoid artificial differences between sites, especially in the urban context where significant differences in levels at the boundary can reduce amenity and result in dangerous landforms and structures.</p> <p><i>Excessive cut and fill</i> reduces the ability to interpret natural landforms, and can exacerbate ground water and salinity issues. Controls are necessary to prevent erosion and sedimentation, and changes to natural creeks and watercourses.</p> <p><i>Objectives</i> O1 Encourage site responsive development and protect the amenity of adjoining land. O2 Avoid excessive earthworks and minimise changes to the natural landform. O3 Encourage site layout and building design that is appropriate to the site conditions, including use of split levels, pier foundation or suspended floor house designs. O4 Avoid adverse impacts on salinity by minimising the potential for surface water to enter the groundwater in recharge areas. O5 Avoid inappropriate fill being introduced to sites. O6 Ensure adequate provision of drainage in relation to cut and fill practices.</p> <p><i>Controls</i> C1 to C12 are not relevant to this site. I.e. a level site see attached photos</p>	<p>COMPLIES</p> <p>The site is level with little crossfall as shown in the attached photos and confirmed by site inspection.</p> <p>AS a result, there will be minor earthworks associated with the building of the dwellings, driveways, parking areas and the provision of services (sewer, stormwater drainage and public utilities).</p> <p>The objectives 01 to 06 are satisfied.</p> <p>Sedimentation and erosion controls will be required in accordance with WWCC requirements.</p>

<p>PART D</p> <p>Section 11 Industrial Development</p>	<p>Not Applicable</p>
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Section 12 Specific Uses and Developments	Not Applicable , as the proposed development is not nominated in this section.
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(a)(iiiia) any planning agreement that has been entered into or any draft planning agreement that the developer has offered to enter into

RESPONSE

- No planning agreements apply to the land.

(a)(iv) any matters prescribed by the regulations

RESPONSE

COMPLIES with Environmental Planning and Assessment Regulation 2000

Namely clause 50 and Schedule 1, Part 1, subclause 2(1)(c) of the Regulations provides that statement of environmental effects (SEE) must accompany a development application and Schedule 1, Part 1, subclause 2(4)

(b) the likely impacts of the development

ENVIRONMENTAL IMPACTS	
Social Impact	
Potential Impacts	<ul style="list-style-type: none"> • Employment • Crime and safety: better on-site security for the business premises
How Identified	<ul style="list-style-type: none"> • Existing workforce and projected growth in business • Knowledge of Spring Street area amenity and character. <p>CPTED Principles are:</p> <ul style="list-style-type: none"> • Natural surveillance • Natural access control • Territorial reinforcement • Maintenance
Steps Taken	<ul style="list-style-type: none"> • Building design safeguards lighting internal and external stepped walls, open surrounds with good natural surveillance from Spring Street. • Building alterations and design to improve operational energy efficiency and site security.
Economic Impact	
Potential Impacts	<ul style="list-style-type: none"> • Employment • Capital investment • Expanding Wagga Wagga City's central Wagga Wagga residential capacity and land values
How Identified	

- Understanding the nature and needs of residential living environments.
- Understanding the need for a variety of housing types and rental options within the central Wagga Wagga residential area.
- City of Wagga Wagga LEP 2010.

Steps Taken

- Market research supply and demand for residential accommodation in this location.
- Carrying out a feasibility/ market assessment based on construction costs and potential leasing returns for good quality premises.

Pedestrian and vehicle movements

Potential Impacts

- Traffic safety of vehicles entering and leaving the site from Spring Street
- Placing additional demand on Spring Street on-street parking

How Identified

- Council DCP 2010 development standards
- Site inspection
- Site distances along Spring Street are excellent at this location

Steps Taken

- Site layout allows for traffic to enter and leave the site in a forward direction. 5532/2
- Complies with Council's development standards and guidelines contained in DCP 2010
- Complying with the parking required by DCP 2010.
- Configuration of car parking spaces is determined by the National Construction Code and AS2890.1-1993. ASA Parking Facilities

Privacy, views, and overshadowing

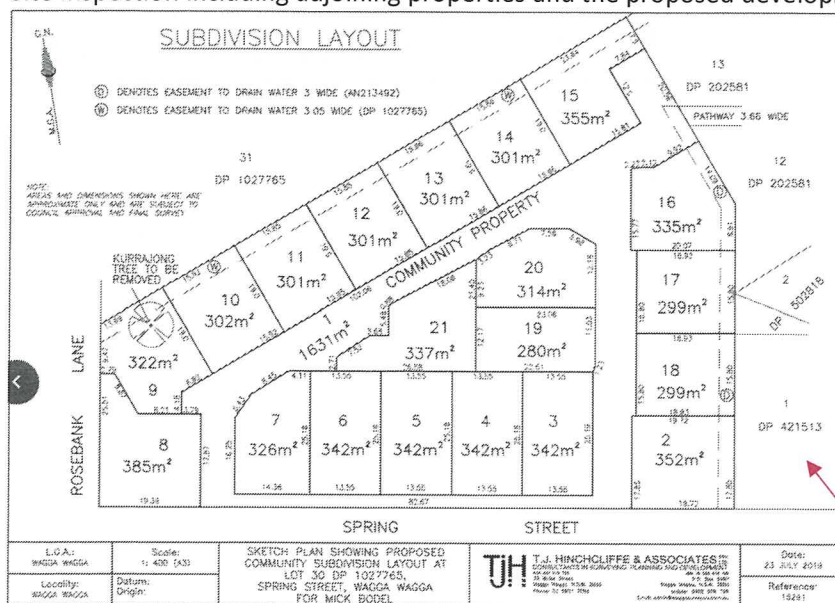
Visual privacy:

Potential Impacts

- Adjoining premises in Spring Street are not likely to be affected.
- REFER TO PHOTOS OF SITE AND SURROUNDS.

How Identified

- Site inspection including adjoining properties and the proposed development on the western side of



Steps Taken
<ul style="list-style-type: none"> Building design and site layout DRAWING SEE DRAWING 5532 - 1 to 7
Acoustic privacy:
Potential Impacts
<ul style="list-style-type: none"> All construction / building activities and air conditioners
How Identified
<ul style="list-style-type: none"> Understanding the nature of activities associated with residential areas. Site inspection
Steps Taken
<ul style="list-style-type: none"> All machinery and appliances to be installed and used during construction phase to comply with <i>Protection of the Environment Operations (Noise Control) Regulation 2008</i> in terms of emissions and noise levels Set hours of operation for building activity. The ambient noise levels in a residential area will mask any noise generated on the site.
Views:
Potential Impacts
<ul style="list-style-type: none"> No existing view impacts Adjoining premises in Spring Street and at the rear of the site will not be affected. REFER TO PHOTOS OF SITE AND SURROUNDS.
How Identified
<ul style="list-style-type: none"> Site inspection
Steps Taken
<ul style="list-style-type: none"> None required

Overshadowing:
Potential Impacts
<ul style="list-style-type: none"> Nil
How Identified
<ul style="list-style-type: none"> Site inspection adjoining land uses. Setbacks of the dwellings from lot boundaries and location on the site See Drawing 5532/2 Height of dwellings 4m at ridgeline
Steps Taken
<ul style="list-style-type: none"> None required
Air and noise
Air:
Potential Impacts
<ul style="list-style-type: none"> Motor vehicle exhaust Air conditioning units
How Identified
<ul style="list-style-type: none"> Operational experience Knowledge of residential noise sources.
Steps Taken

<ul style="list-style-type: none"> All operational activity: Traffic plant and machinery to comply with the provisions of <i>Protection of the Environment Operations (Clean Air) Regulation 2010</i>
Noise:
<p>Potential Impacts</p> <ul style="list-style-type: none"> Construction / building tools and activity Motor vehicle exhaust/engines Air conditioning units Refrigeration units
<p>How Identified</p> <ul style="list-style-type: none"> Operational experience Knowledge of residential noise sources.
<p>Steps Taken</p> <ul style="list-style-type: none"> Restricted hours for construction activity imposed by Wagga Wagga City Council. All occupational activity, traffic and air conditioners comply with noise levels permitted under the provisions of <i>Protection of the Environment Operations Act 1997</i>
Soil and water
Stormwater:
<p>Potential Impacts</p> <ul style="list-style-type: none"> On-site localized flooding/ levee bank breach Sedimentation and erosion during construction
<p>How Identified</p> <ul style="list-style-type: none"> Site inspection WWCC GIS Maps
<p>Steps Taken</p> <ul style="list-style-type: none"> Maintaining and upgrading the current connection the City Council Sewerage/ Drainage system to the Council required standards Stormwater runoff directed to underground drainage through ground level inlet pits to be shown in the plans submitted with the construction certificate application along with engineers' details. Compliance with Wagga Wagga Development Control Plan 2010 as amended – Appendix 2 – <i>Erosion and Sediment Controls</i>
Wastewater:
<p>Potential Impacts</p> <ul style="list-style-type: none"> Nil other than sewerage disposal required.
<p>How Identified</p> <ul style="list-style-type: none"> By noting the operational activity associated with living in residential dwellings.
<p>Steps Taken</p> <ul style="list-style-type: none"> Maintaining and upgrading the current connection the City Council Sewerage system to the Council required standards.
Soil erosion control:
<p>Potential Impacts</p> <ul style="list-style-type: none"> During the construction of the proposed development
<p>How Identified</p> <ul style="list-style-type: none"> Knowledge of the site works required to carry out the construction (building, landscaping, driveways and parking areas).
<p>Steps Taken</p>

<ul style="list-style-type: none"> Complying with the Council policy as incorporated in Wagga DCP2010 Appendix 34 - Erosion & Sedimentation Control for Building Sites
Energy efficiency
Potential Impacts <ul style="list-style-type: none"> Excessive power consumption
How Identified <ul style="list-style-type: none"> Knowledge of domestic plant and equipment involved to comfortably live in dwellings located in Wagga Wagga
Steps Taken <ul style="list-style-type: none"> Using “high energy rated” plant and equipment for heating, cooling and lighting for residential occupation and domestic appliances. Section BASIX assessment pass and compliance to be submitted with construction certificate application.
Waste
Potential Impacts <ul style="list-style-type: none"> The storage of waste on-site. Sewerage disposal
How Identified <ul style="list-style-type: none"> Knowledge of the operational activity of domestic activities.
Steps Taken <ul style="list-style-type: none"> All solid waste materials are to be removed by a Council licensed contractor and disposed of at the Gregadoo Waste Disposal area on a regular basis or on demand if excess waste is generated. The sewerage will be collected on site and network / system.
Fire safety and other building upgrades
Potential Impacts <ul style="list-style-type: none"> Fire within the building and on the outside area of the site
How Identified <ul style="list-style-type: none"> Site inspection of the existing buildings Knowledge of the NCC/BCA requirements. Building design and site layout shown in DRAWING SEE DRAWING 5532 - 1 to 7
Steps Taken <ul style="list-style-type: none"> Complies with National Construction Code requirements for building of this class of building. Installation of smoke alarms. Good management and site maintenance
Demolition management
Potential Impacts <ul style="list-style-type: none"> Removal of asbestos cladding form the existing units 1 & 2
How Identified <ul style="list-style-type: none"> Site inspection refer to DRAWING 5532 – 2 & 3 attached notes
Steps Taken <ul style="list-style-type: none"> the development will be carried out in accordance with AS 2601—2001, The demolition of structures. As the building was constructed before 1987 and contains asbestos. A licensed business will be contracted to undertake asbestos removal work under the Occupational Health and Safety

Regulation 2001 (refer to Working with Asbestos: Guide 2008 (ISBN 0 7310 5159 9) published by the WorkCover Authority)
Landscaping
<p>Potential Impacts</p> <ul style="list-style-type: none"> • Substantial improvement to site appearance • The Manchurian pear trees planted on the northern and western boundaries will provide summer shade over the site. • Substantial improvement to Spring Street streetscape
<p>How Identified</p> <ul style="list-style-type: none"> • Inspection of existing site <p>Examination of the proposed site landscaping as show on DRAWING 5532/2</p>
<p>Steps Taken</p> <ul style="list-style-type: none"> • Complies with DCP 2010 Section 9, controls for Residential.

(c) the suitability of the site for development

RESPONSE

- The proposal fits the locality in land use character, scale, bulk and style of building.
- The character of this section of Spring Street is being transformed by the development on the northern side and the proposed development on the adjoining land to the west (Lot 30 Dp1027765. 51 Spring Street. The proposed development will be both consistent with and compliment the future character of this area.
- The site layout and design ensure the retention of the existing units, good vehicular access and site manoeuvrability.
- The new 2-bedroom unit is consistent with the existing buildings scale and bulk.
- The existing external wall cladding on units 1 & 2 will be removed to match the new unit 3 cladding providing a fresh modern southern elevation to Spring Street.
- The shape and width of Lot 1 together with the small site area occupied by units 1 & 2 enables car parking (5 spaces) with excellent access and visibility.
- The onsite parking behind the landscaped area being setback 3m behind the Spring Street road boundary and the wide nature strip will present a good and attractive streetscape.

(d) any submissions made in accordance with this Act or the Regulations

RESPONSE

- Unknown until notification process completed.

(e) the public interest

RESPONSE

The proposal is in the public interest as it will provide additional capability and increase the capacity of the city associated with:

- a variety of residential accommodation
- Increased central Wagga Wagga residential capacity in proximity to the CBD and Medical precinct
- Generate employment and utilise land potential without compromising the character of the surrounding area.
- Utilising the capacity of the servicing infrastructure available

The public interest is served by the proposed development being consistent with the planning legislation. National/Australian Standards and council requirements.

7. CONCLUSION

The proposed development is:

- There is sufficient justification to vary the minimum site area per dwelling in the R1 General Residential Zone at this location given the nature of the adjoining and adjacent development densities. The development will not be out of character nor compromise the amenity of the area for adjoining landowners.
- Increased central Wagga Wagga residential capacity in proximity to the CBD and Medical precinct with the additional Multi dwelling housing
- Consistent with relevant provisions of the City of Wagga Wagga LEP 2010, DCP 2010 and SEPPS
- Has sufficient merit to warrant development consent subject to Council's conditions

APPLICANT DECLARATION	
I declare to the best of my knowledge and belief, that the particulars stated on this document are correct in every detail and that the information required has been supplied. I acknowledge that the development application may be returned to me if information is found to be missing or inadequate.	
Applicant's name/s (Printed)	Project Planning & Design
Applicant's signature/s	
Date	18/06/2020

Contact Details

Ian Graham

Email: irisplanning01@gmail.com

Mob: 0401646456

29 Gibson Street Boorooma 2650

ATTACHMENTS

Drawings 5485	Dated	Prepared by
1 - SITE LAYOUT PLANS	26/11/2018	Project Planning and Design
2 - GROUND FLOOR LAYOUT PLAN	26/11/2018	Project Planning and Design
3 – FIRST FLOOR LAYOUT PLAN MEZZANINE	26/11/2018	Project Planning and Design
4 – ELEVATIONS	26/11/2018	Project Planning and Design
5 – SECTIONS	26/11/2018	Project Planning and Design
6 – GROUND FLOOR ELECTRICAL LAYOUT PLAN	26/11/2018	Project Planning and Design

Attachments Continued

- Photo gallery taken 6/2/2020
- RFS Bushfire prone check
- Biodiversity certified area
- NSW Planning portal report
- AHIMS Report

Plan and prepare

[Bush fire survival plan](#)
[Know your risk](#)
[Prepare your home](#)
[Prepare yourself and family](#)
[Fire Danger Ratings](#)
[Alert Levels](#)
[Neighbourhood Safer Places](#)

Building in a bush fire area

- What you need to know
- Building after bush fire
- Planning for Bush Fire Protection
 - Bush fire prone land
- Additional information

[Travelling in a bush fire area](#)
[AIDER](#)
[Home fire safety](#)
[10/50 vegetation clearing](#)
[Farm fire safety](#)
[Fire Trails](#)

Home > Plan and prepare > Building in a bush fire area > Planning for Bush Fire Protection > Bush fire prone land > Check if you're in bush fire prone land

Check if you're in bush fire prone land

You can check here if your land is in a bush fire prone area.

- Enter your address including house number, street and suburb or town. Select your address from the drop down options provided.
- Check the map has correctly located your property. If not drag and drop the red marker on to your property.
- Click the 'Get Results' button to see if you're in a designated bush fire prone area.
- You should consider seeking expert advice before commencing any development.

Your Property




Your search result


You have conducted a search of the online bush fire prone land tool for the land in the map above. This search result is valid for the date the search was conducted. If you have any questions about the Bush Fire Prone Land Tool please contact bushfireprone.mapping@rfs.nsw.gov.au

The parcel of land selected is not identified as bush fire prone however you could still be affected by a bush fire.



Wagga Wagga City Council Biodiversity Certification Area - Map 3

 Detailed maps of biodiversity certification Area
 Cadastre May 2010 © Land & Property Management Authority

 Biodiversity Certification Area

Transverse Mercator Projection
 Horizontal Datum: Geographic Datum of Australia 1994
 Tick marks on edges of map are of 5 km intervals of the
 Australian Map Grid, Zone 55

 5 Kilometres





Property Report

40 NAGLE STREET EAST WAGGA WAGGA 2650



Property Details

Address: 40 NAGLE STREET EAST WAGGA
WAGGA 2650
Lot/Section 35/-/DP1129644
/Plan No:
Council: WAGGA WAGGA CITY COUNCIL

Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Local Environmental Plans	Wagga Wagga Local Environmental Plan 2010 (pub. 30-6-2017)
Land Zoning	IN1 - General Industrial: (pub. 16-7-2010)
Height Of Building	NA
Floor Space Ratio	NA
Minimum Lot Size	NA
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA
Riparian Lands and Watercourses	Natural Resources Sensitivity Map - Water

Detailed planning information

State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)

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Property Report

40 NAGLE STREET EAST WAGGA WAGGA 2650

- State Environmental Planning Policy (Affordable Rental Housing) 2009: Land Application (pub. 31-7-2009)
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004: Land Application (pub. 25-6-2004)
- State Environmental Planning Policy (Concurrences) 2018: Land Application (pub. 21-12-2018)
- State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017: Land Application (pub. 1-9-2017)
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008: Land Application (pub. 12-12-2008)
- State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004: Land Application (pub. 31-3-2004)
- State Environmental Planning Policy (Infrastructure) 2007: Land Application (pub. 21-12-2007)
- State Environmental Planning Policy (Mining, Petroleum Production and Extractive Industries) 2007: Land Application (pub. 16-2-2007)
- State Environmental Planning Policy (Miscellaneous Consent Provisions) 2007: Land Application (pub. 28-9-2007)
- State Environmental Planning Policy (Primary Production and Rural Development) 2019: Land Application (pub. 28-2-2019)
- State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017: Subject Land (pub. 25-8-2017)
- State Environmental Planning Policy No 1—Development Standards: Land Application (pub. 17-10-1980)
- State Environmental Planning Policy No 21—Caravan Parks: Land Application (pub. 24-4-1992)
- State Environmental Planning Policy No 33—Hazardous and Offensive Development: Land Application (pub. 13-3-1992)
- State Environmental Planning Policy No 36—Manufactured Home Estates: Land Application (pub. 16-7-1993)
- State Environmental Planning Policy No 44—Koala Habitat Protection: Land Application (pub. 6-1-1995)
- State Environmental Planning Policy No 50—Canal Estate Development: Land Application (pub. 10-11-1997)
- State Environmental Planning Policy No 55—Remediation of Land: Land Application (pub. 28-8-1998)
- State Environmental Planning Policy No 64—Advertising and Signage: Land Application (pub. 16-3-2001)
- State Environmental Planning Policy No 65—Design Quality of Residential Apartment Development: Land Application (pub. 26-7-2002)

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)

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Property Report

40 NAGLE STREET EAST WAGGA WAGGA 2650

Other matters affecting the property

Information held in the Planning Database about other matters affecting the property appears below. The property may also be affected by additional planning controls not outlined in this report. Please speak to your council for more information

Local Aboriginal Land Council WAGGA WAGGA



AHIMS Web Services (AWS) Search Result

Purchase Order/Reference : 181119

Client Service ID : 482333

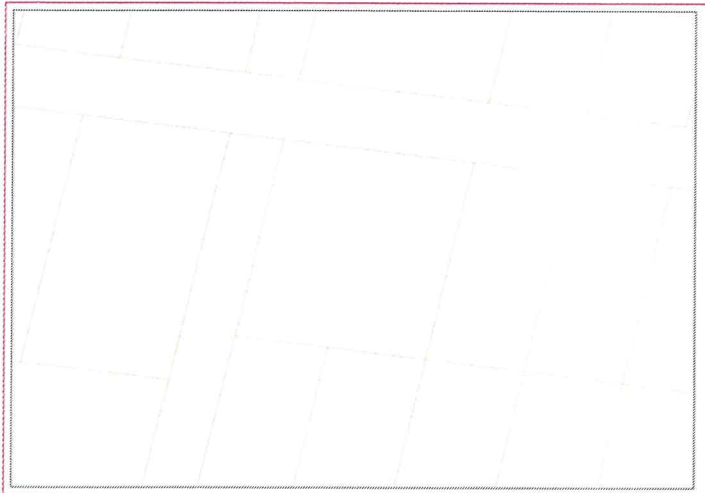
Date: 06 February 2020

Ian Graham
29 Gibson Street
Boorooma New South Wales 2650
Attention: Ian Graham
Email: irisplanning01@gmail.com

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot: 35, DP:DP1129644 with a Buffer of 50 meters, conducted by Ian Graham on 06 February 2020.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of the Office of the Environment and Heritage AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *