

HENSCHKE AVENUE

ISSUED FOR DEVELOPMENT /  
CONSTRUCTION CERTIFICATE PURPOSES

**Note:**  
Landscaping Hedging to Northern,  
Western & Southern sides of shed

Area Ratios: Property Size = 2.057ha

	Proposed Structure: 216.00m <sup>2</sup> (1.05%)
	Existing Dwelling Approx: 811.00m <sup>2</sup> (3.94%)
	Free Space (Behind Building Line) Approx: 1.43ha (69.52%)

Total Site Coverage Approx: 1,027.00m<sup>2</sup> (4.99%)

Supplied By:

  
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**SEDIMENT TRAPPING  
DEVICES.**

**SEDIMENT FENCES**



**DESCRIPTION**

A sediment fence (also known as a silt fence) is a temporary barrier of geotextile filter or fabric, usually supported by steel mesh and steel posts.

**DESIGN LIMITATIONS**

Sediment Fences have the following design limits:

- The area draining to the fence is 0.6ha or less.
- The maximum slope length behind the fence is 60m.

**PURPOSE**

Sediment fences filter runoff, trapping the sediment and allowing filtered water to pass through.

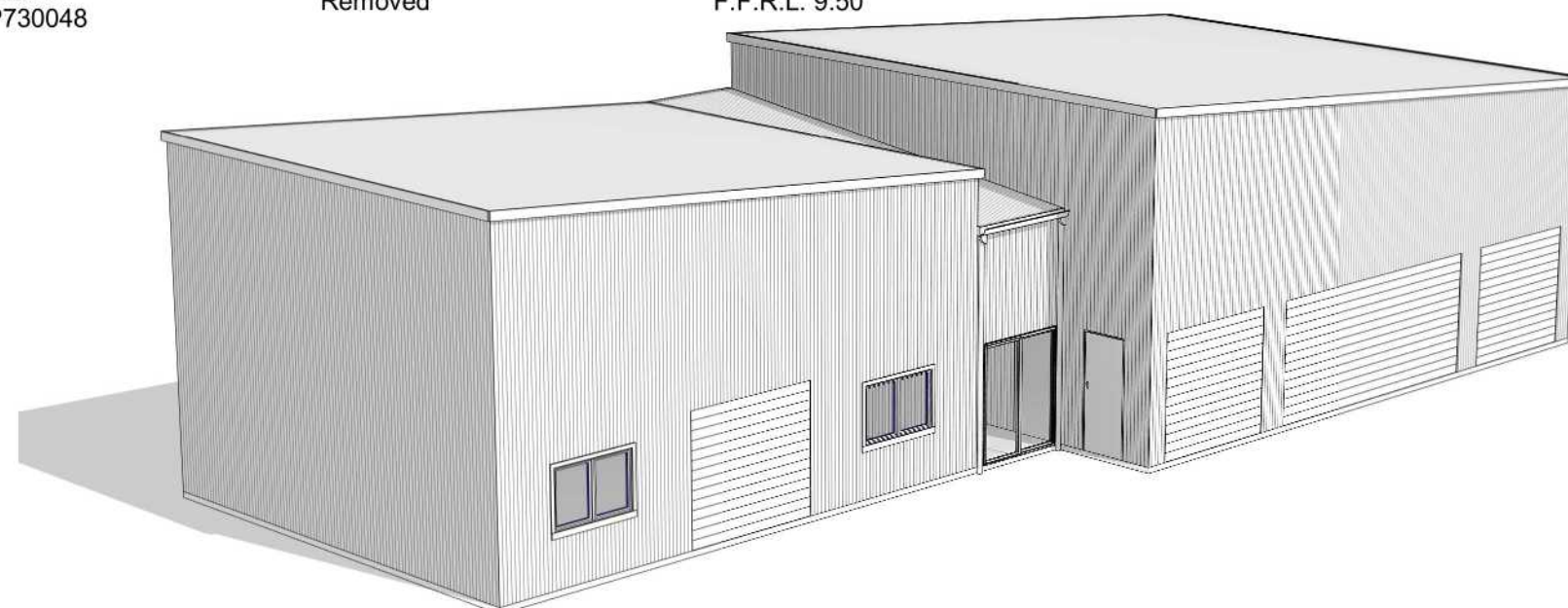
**INSTALLATION**

Sediment fences should have a stable outlet or overflow point, in-case the flow rates exceed their capacity to filter the water.

**MAINTENANCE**

After each rain event check for undercutting, sagging and overtopping, and repair immediately. Sediment collected should be removed from site.

**1 Site Plan**  
1 : 1000



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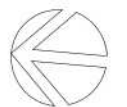
Proposed: Detached Steel Framed Sheds

Client: Kofi Amponn

Address: 10 Henschke Ave, San Isidore  
Lot 18 / DP245101

Plan: Site Plan

Drawn: V.B  
Date: 20/01/24  
Scale: As indicated  
Job No: 221209



Sheet:

**01**

**Note:** Plans to be printed on A3 to be to scale. Do not scale off plans.  
All dimensions and Natural Ground Heights to be checked and verified on site.



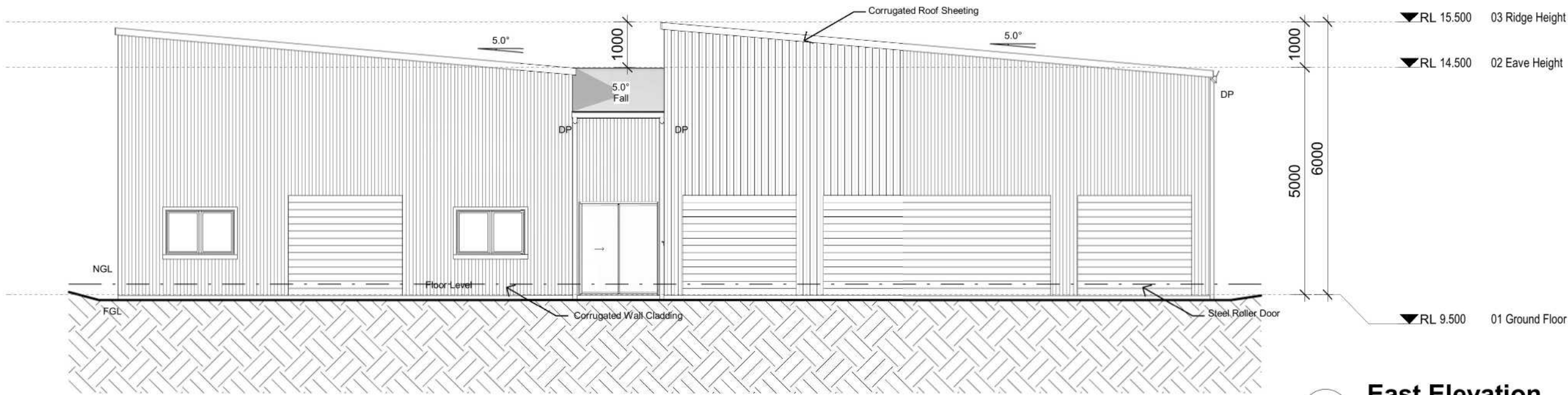
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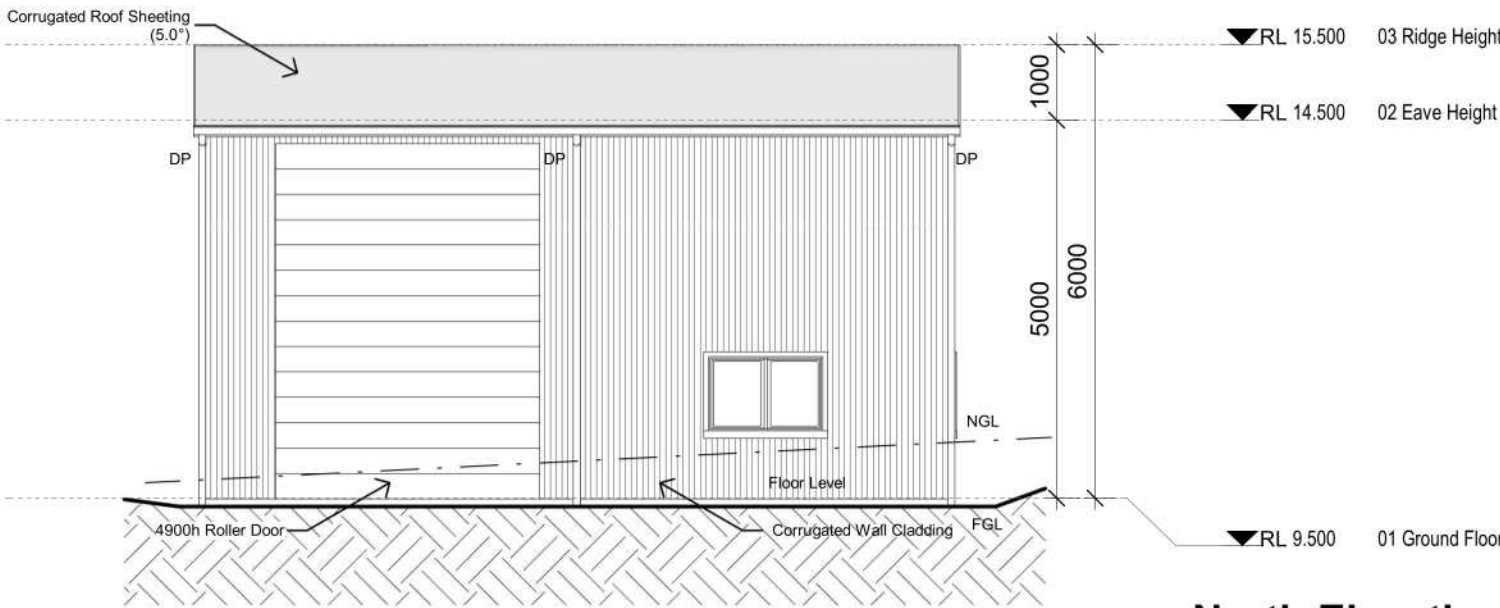
**best  
sheds**

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**1 East Elevation**  
1 : 100



**2 North Elevation**  
1 : 100

- Wall Cladding / Corrugated / Smooth Cream
- Roof Cladding / Corrugated / Smooth Cream
- Roller Door / Smooth Cream



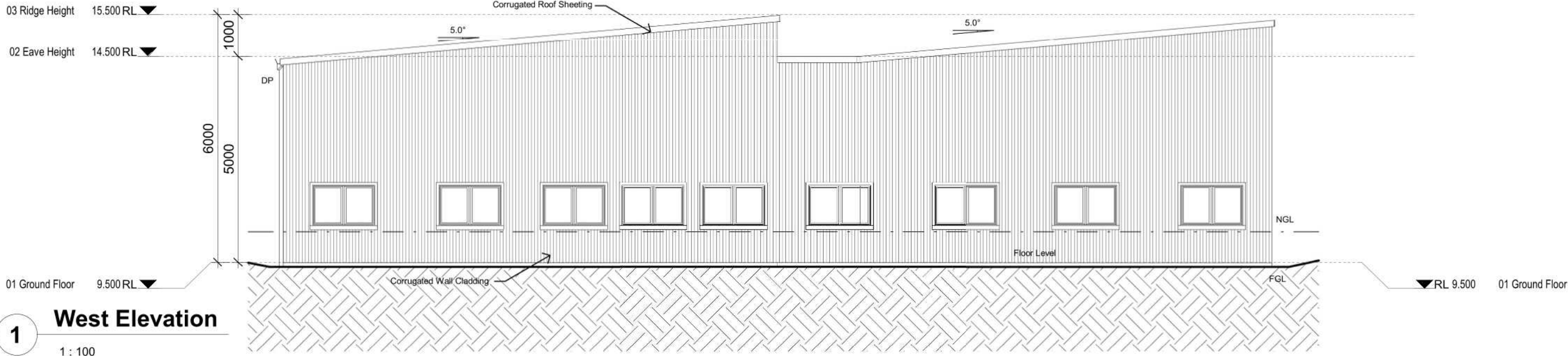
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Proposed:	Detached Steel Framed Sheds	Sheet: <b>03</b>
Client:	Kofi Amponn	
Address:	10 Henschke Ave, San Isidore Lot 18 / DP245101	
Plan:	East & North Elevation	
Drawn:	V.B	
Date:	20/01/24	
Scale:	As indicated	
Job No:	221209	

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Proposed: Detached Steel Framed Sheds

Client: Kofi Amponn

Address: 10 Henschke Ave, San Isidore Lot 18 / DP245101

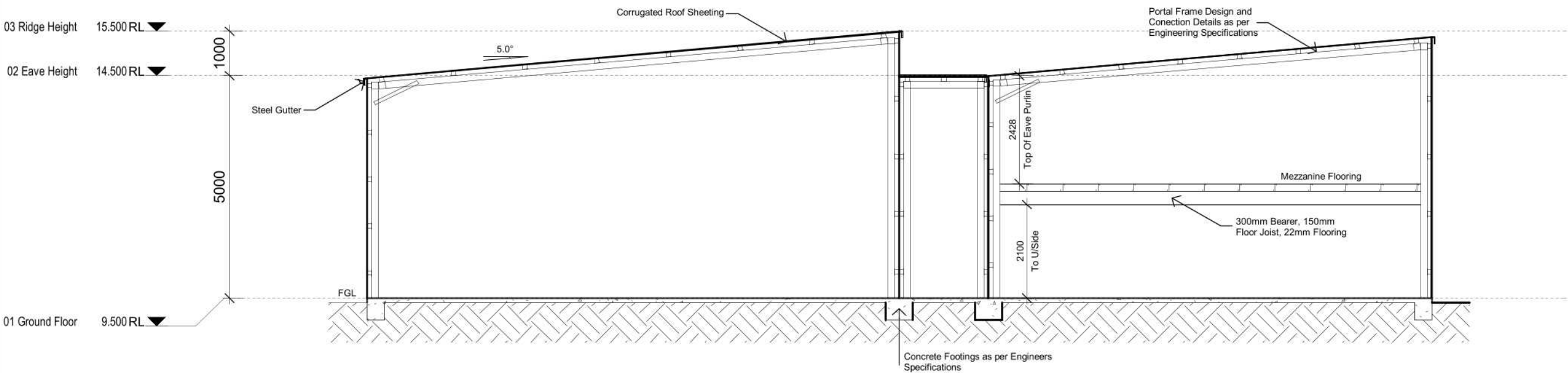
Plan: West & South Elevation

Drawn:	V.B
Date:	20/01/24
Scale:	1 : 100
Job No:	221209

Sheet:

**04**

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**1** Typical Section  
1 : 100

All works to be completed in accordance with the performance requirements of the National Construction Code (NCC) 2019 Volume 2 Amendment 1

Detached Portal Frame Sheds

**Part 3.1 Site Preparation (dealt with in Engineering)**

- Part 3.1.1 Earthworks
- Part 3.1.2 Earth retaining structures
- Part 3.1.3 Drainage

**Part 3.2 Footings and slabs (dealt with in Engineering)**

- Part 3.2.2 Preparation
- Part 3.2.3 Concrete and reinforcing
- Part 3.2.4 Site classification
- Part 3.2.5 Footing and slab construction

**Part 3.4 Framing (dealt with in Engineering)**

- Part 3.4.2 Steel Framing
- Part 3.4.4 Structural steel members

**Part 3.5 Roof cladding, gutters and downpipes and wall cladding**

- Part 3.5.1 Sheet Roofing
- Part 3.5.3 Gutters and downpipes
- Part 3.5.5 Metal wall cladding

**Part 3.9 Safe Movement and Access**

- Part 3.9.1.6 Thresholds

**Part 3.10 Ancillary Provisions and Additional Construction Requirements (dealt with in Engineering)**

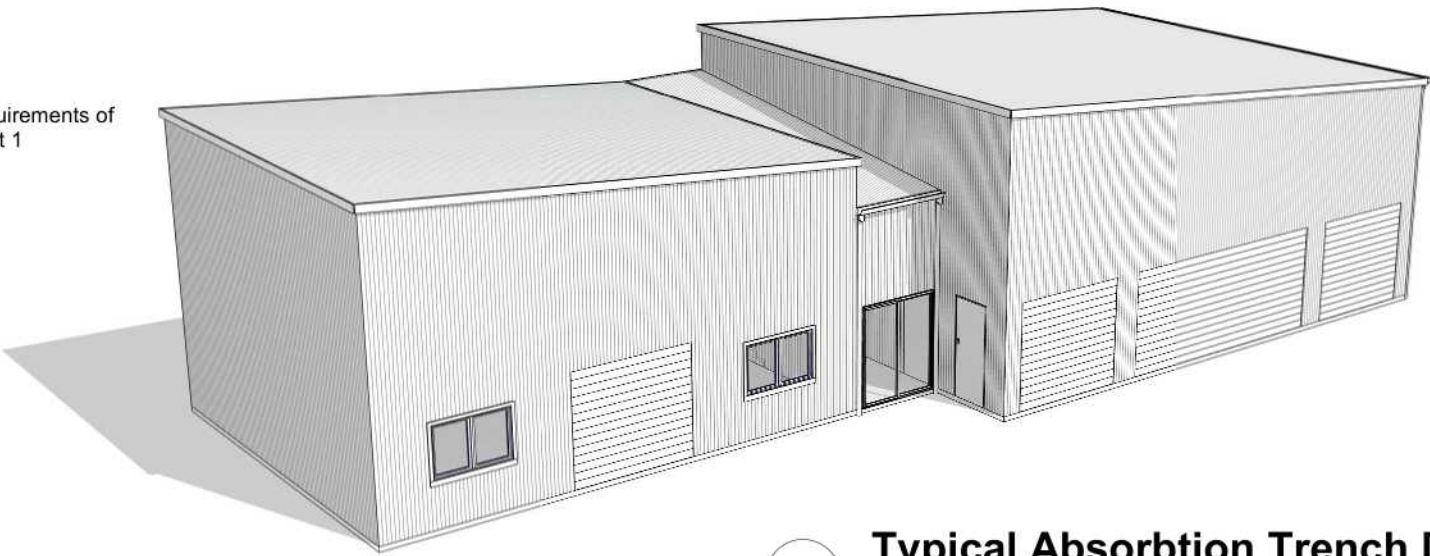
- Part 3.10.2 Earthquake areas

**Part 3.6 Glazing**

- Part 3.6.1 Application
- Part 3.6.2 Glazing sizes and installation
- Part 3.6.3 Fully framed glazing installed in perimeter of buildings
- Part 3.6.4 Human Impact safety requirements

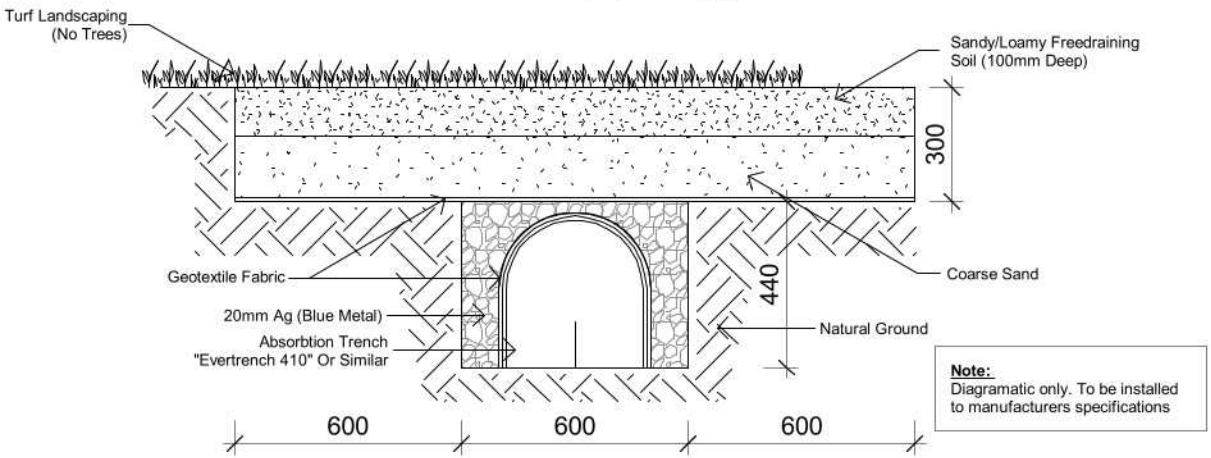
**Part 3.8 Health and Amenity**

- Part 3.8.1 Wet areas and external waterproofing
- Part 3.8.2 Room heights



**Typical Absorbtion Trench Detail**

1 : 20



\*If any Fill is required on Site, Class 'P' site is applicable.



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Proposed:	Detached Steel Framed Sheds	Sheet: <b>05</b>
Client:	Kofi Amponn	
Address:	10 Henschke Ave, San Isidore Lot 18 / DP245101	
Plan:	Typical Section	
Drawn:	V.B	
Date:	20/01/24	
Scale:	As indicated	
Job No:	221209	

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