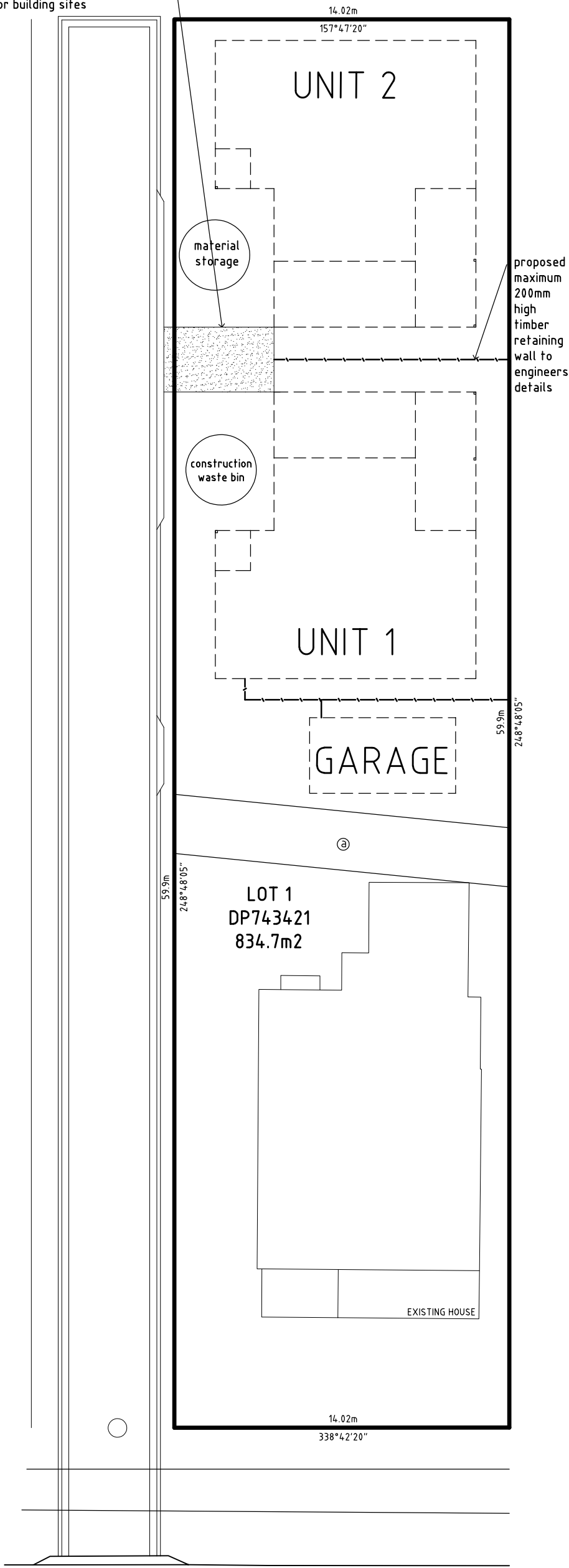


SIMMONS ST

stabilised site access as per WWCC
DCP on erosion & sedimentation
control for building sites



SIMMONS ST

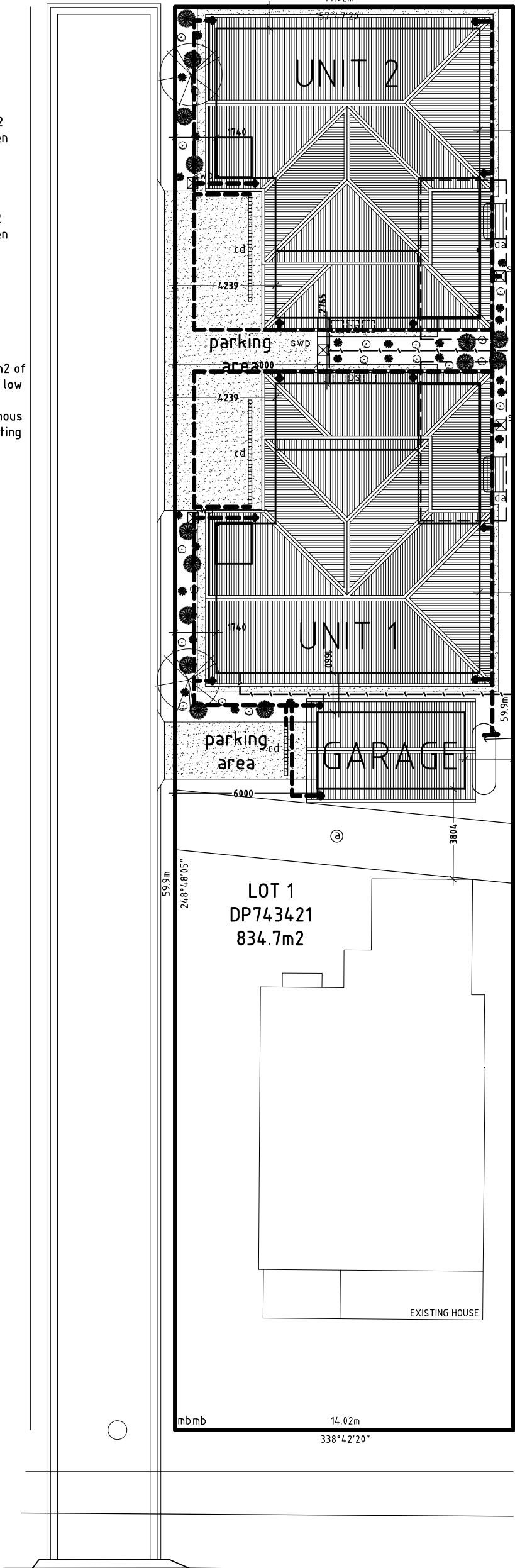
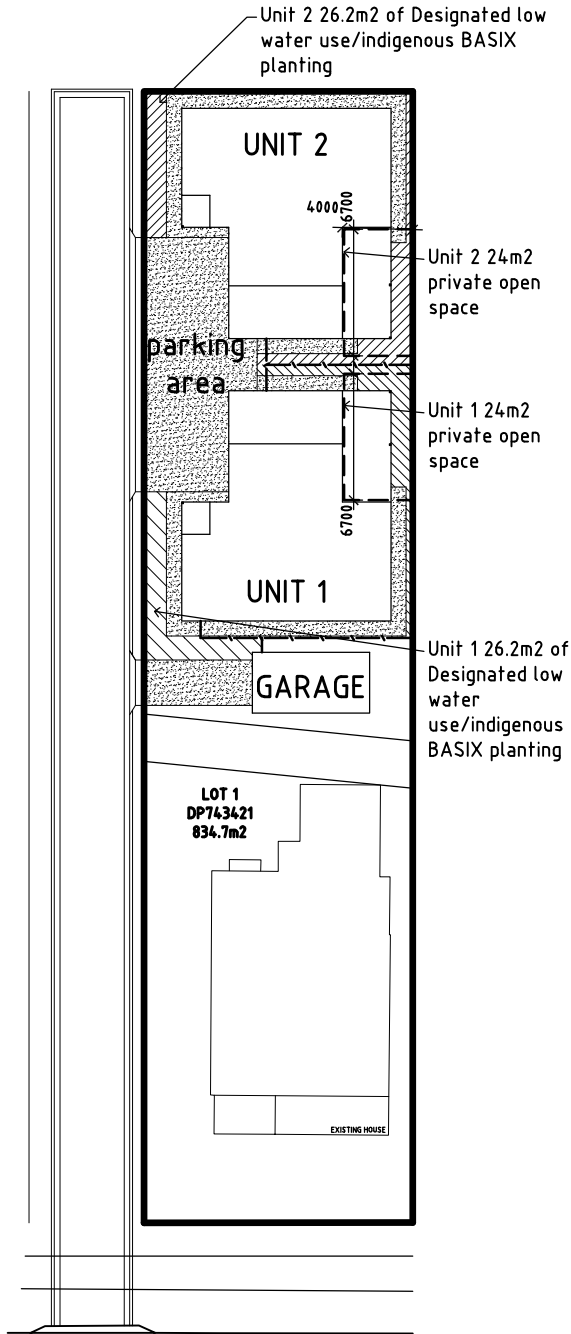
③ easement to drain sewage
& water 2.5 wide

3	26/5/20	revised plan
2	30/4/20	revised plan
1	25/2/20	issued for approval
No	date	amendment
A.Jones - 115 Bradman Dr Boorooma NSW 2650 - PH: 0439 715 702		
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job:	PROPOSED MELTI-DWELLING HOUSING	
client:	MR BRADLEY	
location:	LOT 1 (DP743421) 51 SIMMONS ST WAGGA WAGGA	
drawing title:	SITE ANALYSIS & SOIL / WATER PLAN	This plan is protected by copyright©

north:	
date: 5/2/20	designed: A. Jones
scale: 1:200 @ A3	drawn: A. Jones

		c'ked:	drawing number:	sheet #:
			10222	1/12

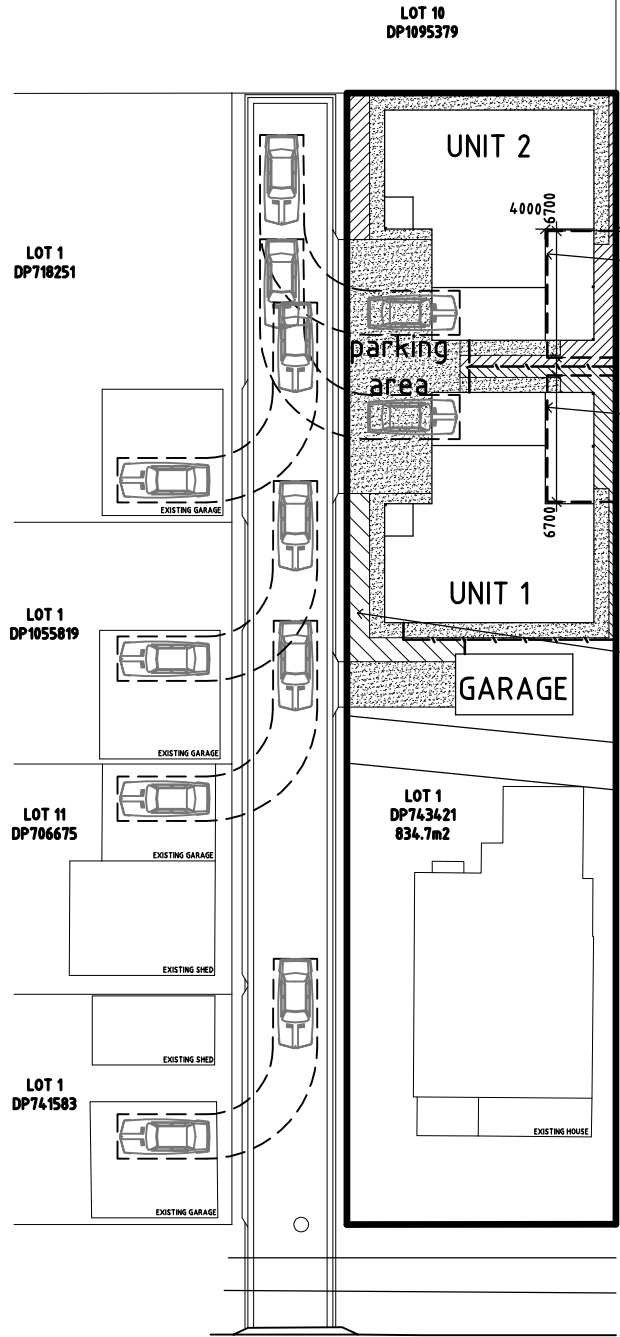


legend:
24m2 open space (6mx4m)
100mm UPVC stormwater pipe
1.8m high colorbond panel fence
swp - storm water pit
cda - clothes drying area
bs - bin storage
mb - brick mail box
cd - channel drain

landscape legend:
turf to block: 0m2
turf to council nature strip: 0m2
total: 0m2
landscaped garden area: 66.2m2
total site landscaping area: 66.2m2
concrete paths: 88.2m2
concrete driveway: 107.1m2
48.8% site coverage
all plumbing to be confined by Plumber
Ⓐ easement to drain sewage
& water 2.5 wide

plant legend:				
	botanical name	pot size	spacing	# plants
⊗	melaleuca linarifolia 'snow in summer'	300mm	n/a	2
⊙	Phormium tenax 'NEW Zealand Flax'	150mm	1000mm	14
⊛	acanthus mollis 'oyster plant'	100mm	500mm	22
⊕	cheiranthus cheiri	150mm	1000mm	18
⊖	kikuyu grass			
all garden beds to be filled with pine bark chip mulch				

proposed 5000L on-site storage for storm water details by civil engineers

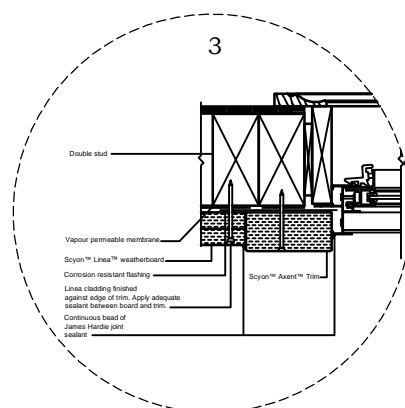
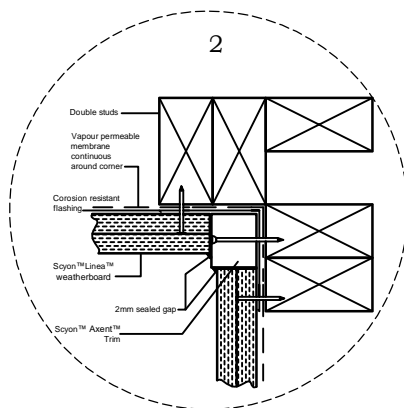
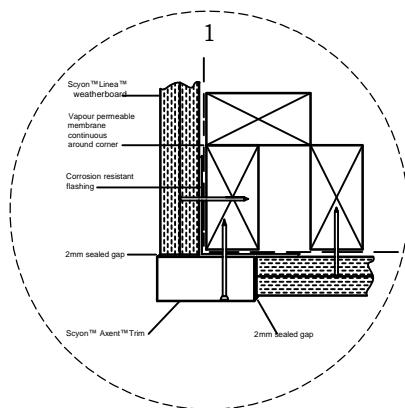




No	date	amendment
3	26/5/20	revised plan
2	30/4/20	revised plan
1	25/2/20	issued for approval
A.Jones - 115 Bradman Dr Boorooma NSW 2650 - PH: 0439 715 702		
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job:	PROPOSED MELTI-DWELLING HOUSING
client:	MR BRADLEY
location:	LOT 1 (DP743421) 51 SIMMONS ST WAGGA WAGGA
drawing title:	SITE & LANDSCAPE PLAN
This plan is protected by copyright©	



north:				
date: 5/2/20	designed: A. Jones	c'ked:	drawing number:	sheet #:
scale: 1:200 @ A3	drawn: A. Jones		10222	2/12

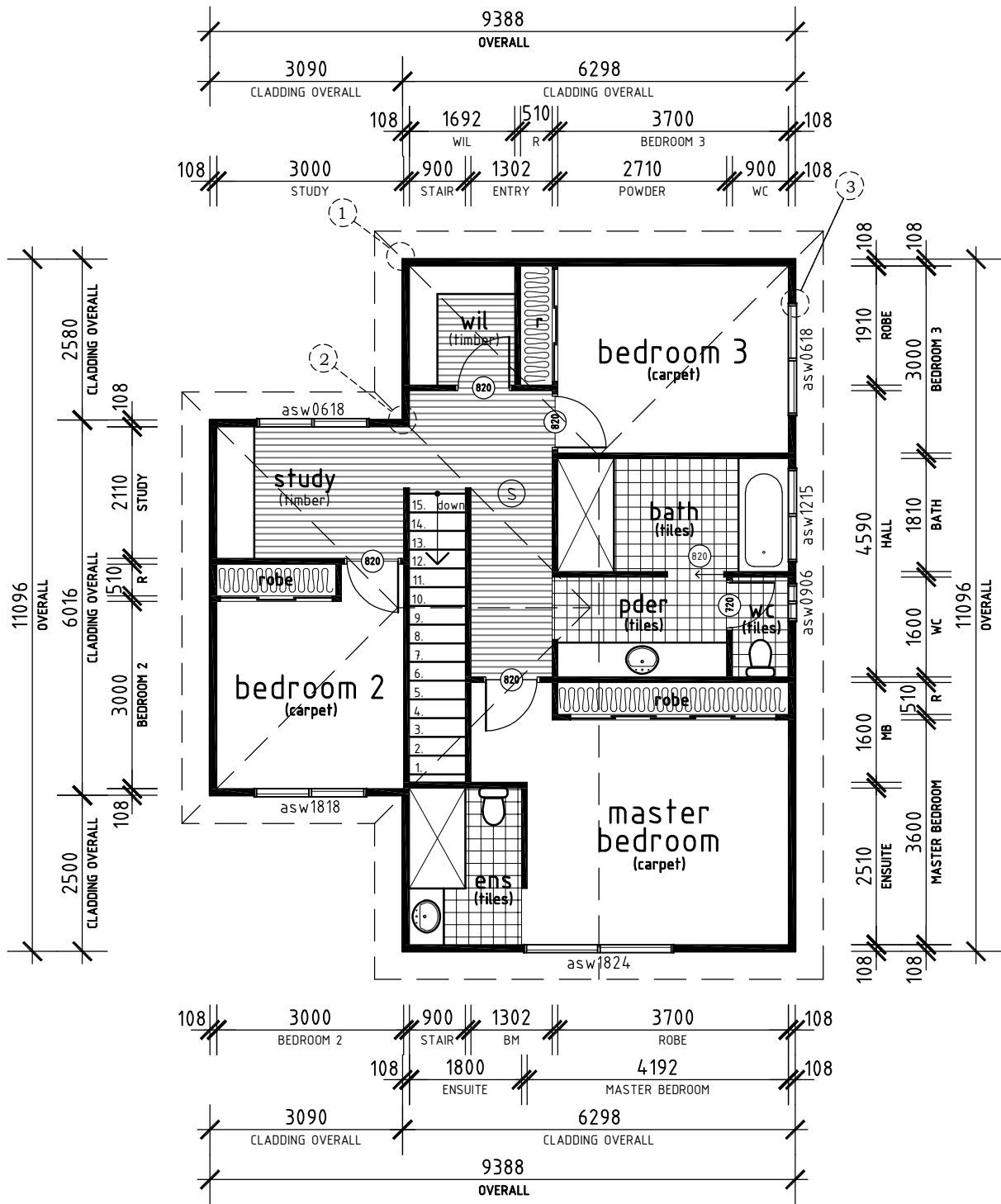
ground living - 67.2m²
level 1 living - 88.4m²
double garage - 35.5m²
pergola- 15.1m²
porch -2.5m²
total - 208.7m²



[illegible]

			job:	<div>north:</div> <div></div>		
3	26/5/20	revised plan	PROPOSED MELTI-DWELLING HOUSING			
2	30/4/20	revised plan	client:			
1	25/2/20	issued for approval	MR BRADLEY			
No	date	amendment	location:			
A.Jones - 115 Bradman Dr Boorooma NSW 2650 - PH: 0439 715 702			LOT 1 (DP743421) 51 SIMMONS ST WAGGA WAGGA			
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			GROUND FLOOR PLAN - UNIT 1			
			date: 5/2/20	designed: A. Jones	c'ked:	
			scale: 1:100 @ A3	drawn: A. Jones	drawing number:	
					sheet #:	
					10222	
					3/12	

areas:
ground living - 67.2m2
level 1 living - 88.4m2
double garage - 35.5m2
pergola- 15.1m2
porch -2.5m2
total - 208.7m2

WINDOW KEY:
window sizes are indicated by the
type of window first:
asw = aluminium sliding window
aaw = aluminium awning window
adh = aluminium double hung
asd = aluminium sliding door
then size:
1012 = 1.0m high x 1.2m wide
eg: asw1012 = aluminium sliding window
1.0m high x 1.2m wide
 - hardwired smoke alarm
 - 300mm skylight






			job:		north:		 <div>JONES DESIGNS</div>					
3	26/5/20	revised plan	PROPOSED MELTI-DWELLING HOUSING									
2	30/4/20	revised plan	client:									
1	25/2/20	issued for approval	MR BRADLEY									
No	date	amendment	location:									
A.Jones - 115 Bradman Dr Boorooma NSW 2650 - PH: 0439 715 702			LOT 1 (DP743421) 51 SIMMONS ST WAGGA WAGGA				date:5/2/20		designed: A. Jones	c'ked:	drawing number:	sheet #:
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			LEVEL 1 FLOOR PLAN - UNIT 1									





1. These drawing shall be read in conjunction with the specifications & drawing supplied by engineers, with BASIX report & with any other information
2. Prior to the commencement of work it is the responsibility of the building contractor to check & confirm all dimensions, heights, setbacks, levels, windows, etc.
3. Installation of all materials & fittings shall always be in strict accordance with manufacturers and suppliers instructions and in accordance with NCC and Australia Standard
4. All contractors / Sub-contractors shall be fully licensed & approved in their relevant trade & are to comply with all the standards, codes & best practices relevant to their particular trades.
5. The building contractor is to visit the site of the proposed works & confer with the Owner/Developer to fully determine the nature and scope of the works.
6. The building contractor is to ensure that the site of the proposed works is made safe and secure from access by others during construction in accordance with Local Authority & OHS requirements.

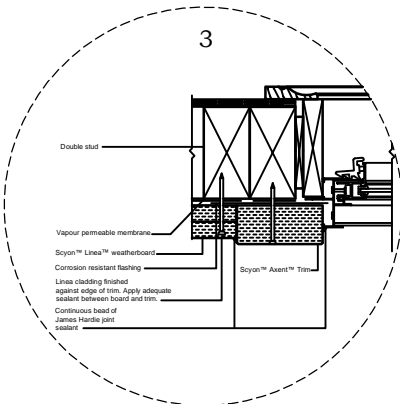
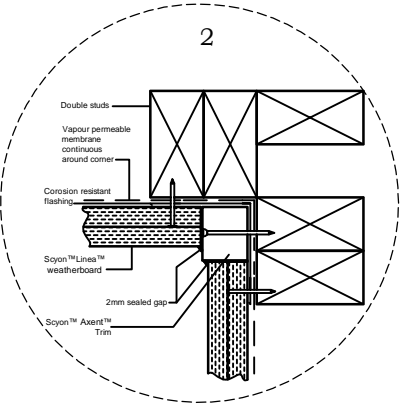
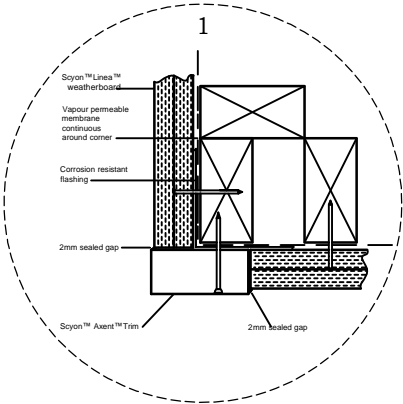
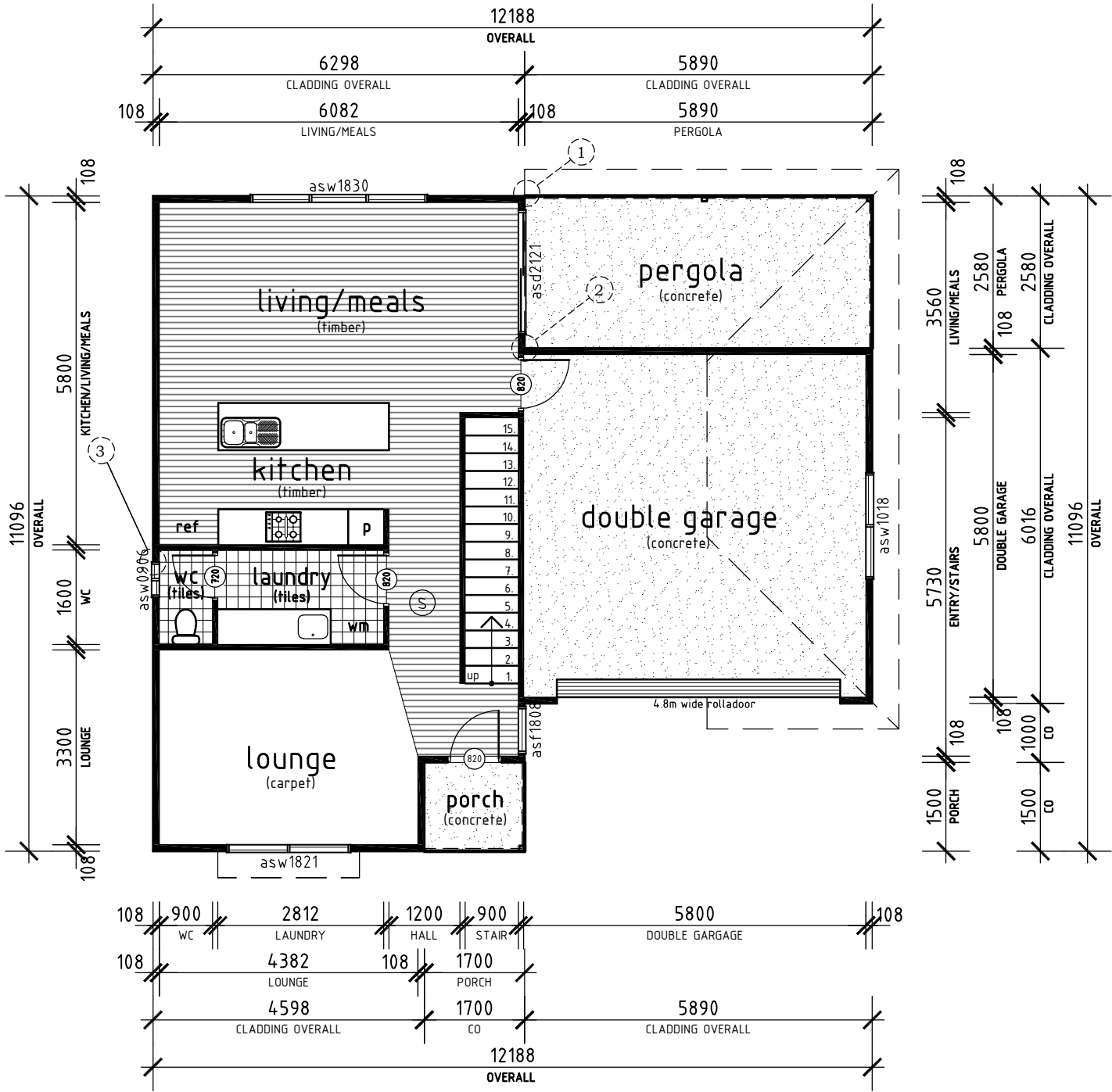
section aa (1:50)



<p>Water Commitments</p> <p>Landscaping</p> <p>Area of indigenous or low water use species =26.2m2</p> <p>Fixtures</p> <p>Showerheads = 3 star (>75 but <9L/min)</p> <p>Kitchen taps & basin taps = 3 star</p> <p>Toilets = 3 star</p>	<p>Windows, glazed doors and skylights</p> <p>North Facing</p> <p>W1, Height = 1800 Width = 2100, Type = aluminium – single clear, Shading = eave 450mm , 0mm above head of window/glazed door, Overshadowing = n/a</p> <p>W2, Height = 1800 Width = 2400, Type = aluminium – single clear, Shading = eave 450mm , 0mm above head of window/glazed door, Overshadowing = n/a</p> <p>W3, Height = 1800 Width = 1800, Type = aluminium – single clear, Shading = eave 450mm , 0mm above head of window/glazed door, Overshadowing = n/a</p> <p>East Facing</p> <p>W4, Height = 1800 Width = 800, Type = aluminium – single clear, Shading = none, Overshadowing = n/a</p> <p>W5, Height = 2100 Width = 2100, Type = aluminium – single clear, Shading = eave 690mm , 0mm above head of window/glazed door, Overshadowing = n/a</p> <p>South Facing</p> <p>W6, Height = 1800 Width = 3000, Type = aluminium – single clear, Shading = none, Overshadowing = n/a</p> <p>W7, Height = 600 Width = 1800, Type = aluminium – single clear, Shading = eave 575mm , 0mm above head of window/glazed door, Overshadowing = n/a</p> <p>West Facing</p> <p>W8, Height = 900 Width = 600, Type = aluminium – single clear, Shading = eave 575mm , 0mm above head of window/glazed door, Overshadowing = n/a</p> <p>W9, Height = 1200 Width = 1500, Type = aluminium – single clear, Shading = eave 575mm , 0mm above head of window/glazed door, Overshadowing = n/a</p> <p>W10, Height = 900 Width = 600, Type = aluminium – single clear, Shading = eave 575mm , 0mm above head of window/glazed door, Overshadowing = n/a</p> <p>W11, Height = 900 Width = 600, Type = aluminium – single clear, Shading = none, Overshadowing = n/a</p>	<p>Energy Commitments</p> <p>Hot Water</p> <p>Hot water Unit = gas instantaneous – 5 star.</p> <p>Cooling System</p> <p>Cooling Unit = evaporative</p> <p>Heating System</p> <p>Heating Unit = gas fixed flued 3.5 star</p> <p>Ventilation</p> <p>At least 1 Bathroom = individual fan, not ducted; Operation control: manual switch on/off.</p> <p>Kitchen = individual fan, ducted to facade or roof; Operation control: manual switch on/off.</p> <p>Laundry = individual fan, not ducted; Operation control: manual switch on/off.</p> <p>Artificial Lighting</p> <p>Primary type of artificial light is fluorescent or LED in dedicated</p> <ul style="list-style-type: none"> – at least 3 of the bedrooms / study; – at least 2 living/dining rooms; – kitchen; – all bathrooms/toilets; dedicated – the laundry; – all hallways; <p>Natural Lighting</p> <p>3 Bathroom(s) / toilet(s) = Window and/or skylight</p> <p>Other</p> <p>The applicant must install a gas cooktop & electric oven</p> <p>The applicant must construct each refrigerator space as well ventilated</p> <p>The applicant must install a fixed outdoor clothes drying line as part of the development.</p>
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;">  <p>Certificate # 1080400S_02</p> </div> <div style="text-align: right;"> <p>1080400S_02</p> </div> </div>		

			job:		north:		 JONES DESIGNS				
3	26/5/20	revised plan	PROPOSED MELTI-DWELLING HOUSING								
2	30/4/20	revised plan	client:								
1	25/2/20	issued for approval	MR BRADLEY								
No	date	amendment	location:								
A.Jones - 115 Bradman Dr Boorooma NSW 2650 - PH: 0439 715 702			LOT 1 (DP743421) 51 SIMMONS ST WAGGA WAGGA								
this drawing is protected by copyright laws and can not be copied, altered or reproduced without the written permission of Andrew Jones			drawing title: SECTION & BASIX - UNIT 1		This plan is protected by copyright©		date:5/2/20	designed: A. Jones	c'ked:	drawing number:	sheet #:
							scale: 1:100 @ A3	drawn: A. Jones		10222	6/12



areas:
ground living - 67.2m2
level 1 living - 88.4m2
double garage - 35.5m2
pergola- 15.1m2
porch -2.5m2
total - 208.7m2

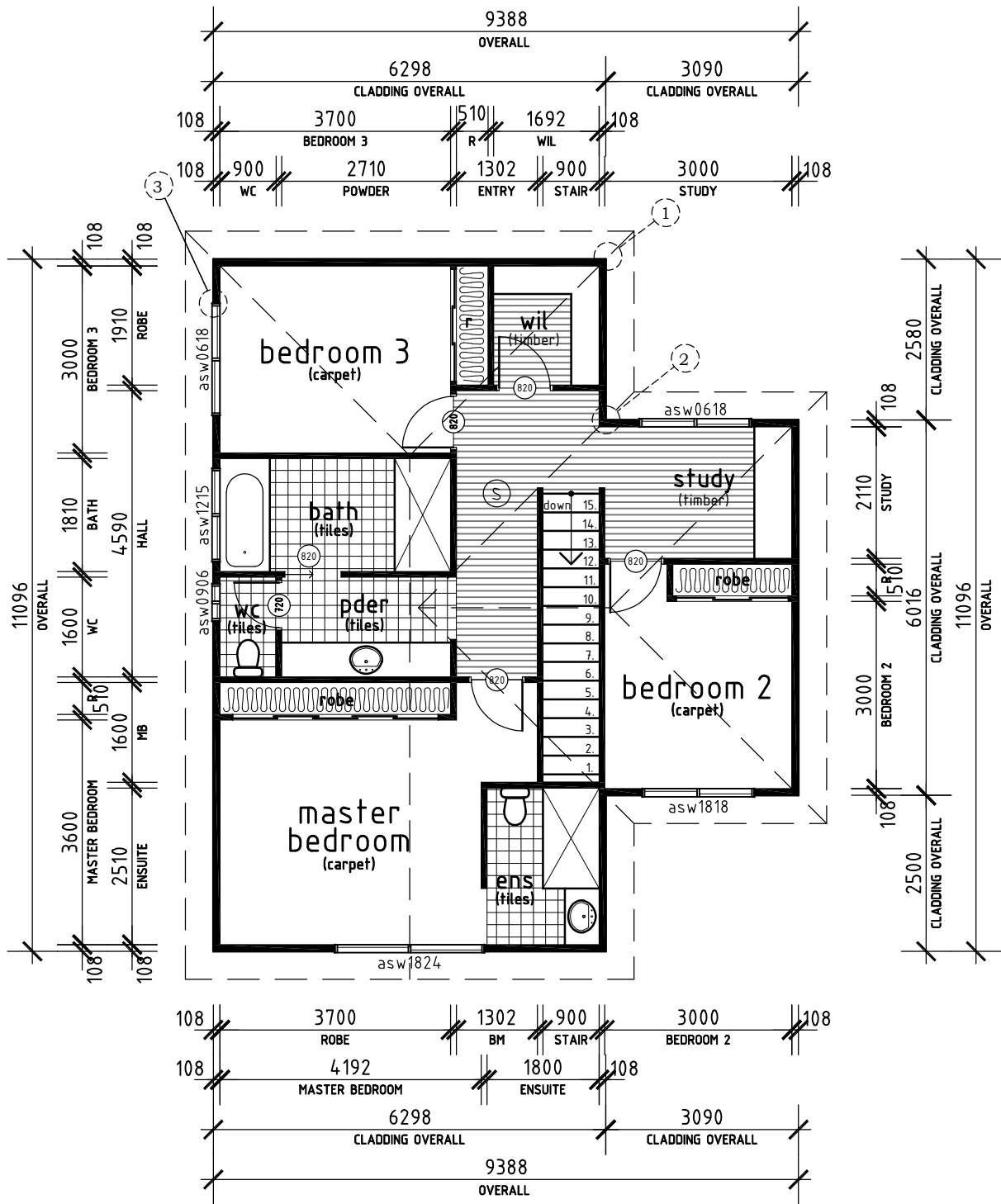
WINDOW KEY:
window sizes are indicated by the
type of window first:
asw = aluminium sliding window
aaw = aluminium awning window
adh = aluminium double hung
asd = aluminium sliding door
then size:
1012 = 1.0m high x 1.2m wide
eg: asw1012 = aluminium sliding window
1.0m high x 1.2m wide
 - hardwired smoke alarm
 - 300mm skylight

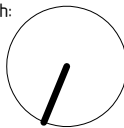



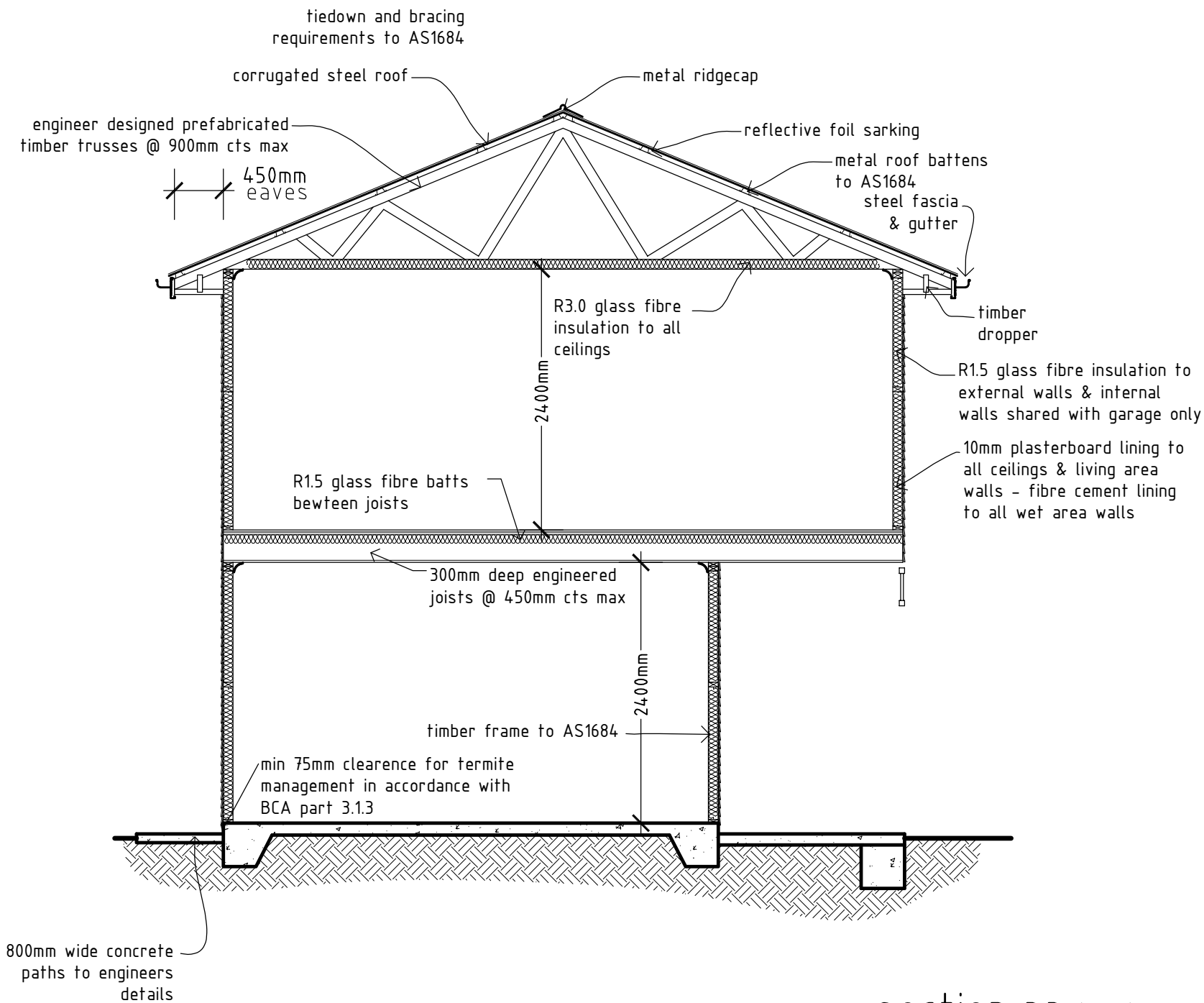
			job: PROPOSED MELTI-DWELLING HOUSING		<div>north: </div> <div>JONES DESIGNS</div>				
3	26/5/20	revised plan	client: MR BRADLEY						
2	30/4/20	revised plan							
1	25/2/20	issued for approval	location: LOT 1 (DP743421) 51 SIMMONS ST WAGGA WAGGA		date:30/10/19	designed: A. Jones	c'ked:	drawing number: 10222	sheet #: 7/12
No	date	amendment			drawing title: GROUND FLOOR PLAN - UNIT 2	This plan is protected by copyright©			
A.Jones - 115 Bradman Dr Boorooma NSW 2650 - PH: 0439 715 702									
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areas:
ground living - 67.2m2
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porch -2.5m2
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WINDOW KEY:
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 - hardwired smoke alarm
 - 300mm skylight



			job: PROPOSED MELTI-DWELLING HOUSING		<div>north: </div> <div></div>										
3	26/5/20	revised plan													
2	30/4/20	revised plan	client: MR BRADLEY												
1	25/2/20	issued for approval													
No	amendment		location: LOT 1 (DP743421) 51 SIMMONS ST WAGGA WAGGA												
A.Jones - 115 Bradman Dr Boorooma NSW 2650 - PH: 0439 715 702															
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									scale: 1:100 @ A3		drawn: A. Jones				





GENERAL NOTES:

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- All contractors / Sub-contractors shall be fully licensed & approved in their relevant trade & are to comply with all the standards, codes & best practices relevant to their particular trades.
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- The building contractor is to ensure that the site of the proposed works is made safe and secure from access by others during construction in accordance with Local Authority & OHS requirements.

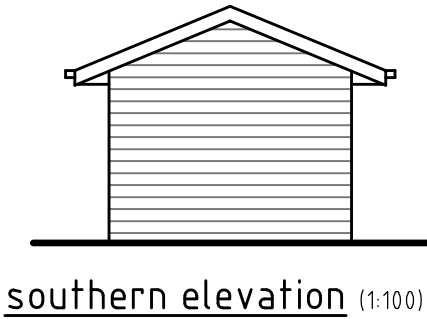
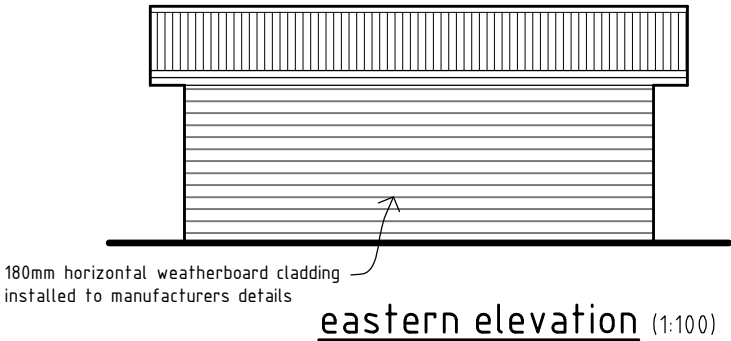
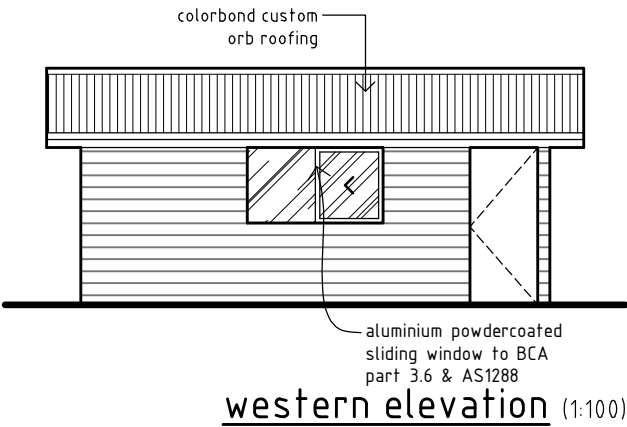
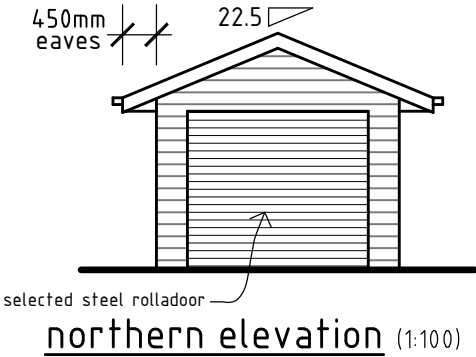
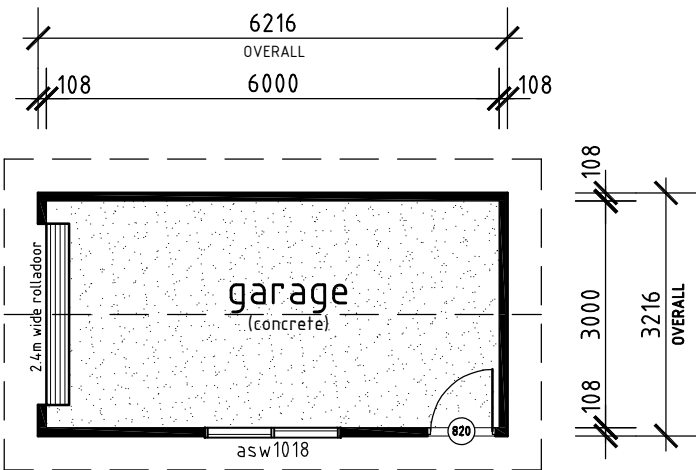
Water Commitments Landscape Area of indigenous or low water use species =26.2m2 Fixtures Showerheads = 3 star (>7.5 but <9Lmin) kitchen taps & basin taps = 3 star Toilets = 3 star	Windows, glazed doors and skylights North Facing W1, Height = 1800 Width = 2100, Type = aluminium - single clear, Shading = eave 450mm , 0mm above head of window/glazed door, Overshadowing = n/a W2, Height = 1800 Width = 2400, Type = aluminium - single clear, Shading = eave 450mm , 0mm above head of window/glazed door, Overshadowing = n/a W3, Height = 1800 Width = 1800, Type = aluminium - single clear, Shading = eave 450mm , 0mm above head of window/glazed door, Overshadowing = n/a East Facing W9, Height = 900 Width = 600, Type = aluminium - single clear, Shading = eave 575mm , 0mm above head of window/glazed door, Overshadowing = n/a W8, Height = 1200 Width = 1500, Type = aluminium - single clear, Shading = eave 575mm , 0mm above head of window/glazed door, Overshadowing = n/a W7, Height = 900 Width = 600, Type = aluminium - single clear, Shading = eave 575mm , 0mm above head of window/glazed door, Overshadowing = n/a W6, Height = 900 Width = 600, Type = aluminium - single clear, Shading = none, Overshadowing = n/a South Facing W6, Height = 1800 Width = 3000, Type = aluminium - single clear, Shading = none, Overshadowing = n/a W7, Height = 600 Width = 1800, Type = aluminium - single clear, Shading = eave 575mm , 0mm above head of window/glazed door, Overshadowing = n/a West Facing W10, Height = 1800 Width = 800, Type = aluminium - single clear, Shading = none, Overshadowing = n/a W11, Height = 2100 Width = 2100, Type = aluminium - single clear, Shading = eave 690mm , 0mm above head of window/glazed door, Overshadowing = n/a	Energy Commitments Hot Water Hot water Unit = gas instantaneous - 5 star. Cooling System Cooling Unit = evaporative Heating System Heating Unit = gas fixed flued 3.5 star Ventilation At least 1 Bathroom = individual fan, not ducted; Operation control: manual switch on/off. Kitchen = individual fan, ducted to facade or roof; Operation control: manual switch on/off. Laundry = individual fan, not ducted; Operation control: manual switch on/off. Artificial Lighting Primary type of artificial light is fluorescent or LED in dedicated - at least 3 of the bedrooms / study; - at least 2 living/dining rooms; - kitchen; - all bathrooms/toilets; dedicated - the laundry; - all hallways; Natural Lighting 3 Bathroom(s) / toilet(s) = Window and/or skylight Other The applicant must install a gas cooktop & electric oven The applicant must construct each refrigerator space as well ventilated The applicant must install a fixed outdoor clothes drying line as part of the development.
Thermal Comfort Commitments General features The dwelling must be a Class 1 dwelling according to the Building Code of Australia, and must not have more than 2 storeys The conditioned floor area of the dwelling must not exceed 300 m2 The dwelling must not contain open mezzanine area exceeding 25m2 The dwelling must not contain third level habitable attic room. Floor, walls and ceiling / roof Floor = concrete slab on ground 88.4m2, nil Floor = above habitable rooms 70.2m2, nil External wall = weatherboard, 2.20 (or 2.60 including construction) Internal wall shared with garage = plasterboard, 0.84 (or 1.20 including construction) Ceiling and roof = flat ceiling / pitched roof, ceiling: 3.5 (up), roof: foil/sarking, solar absorbance 0.475-0.70		



BASIX Building Sustainability Index
Certificate # 1080415S_02

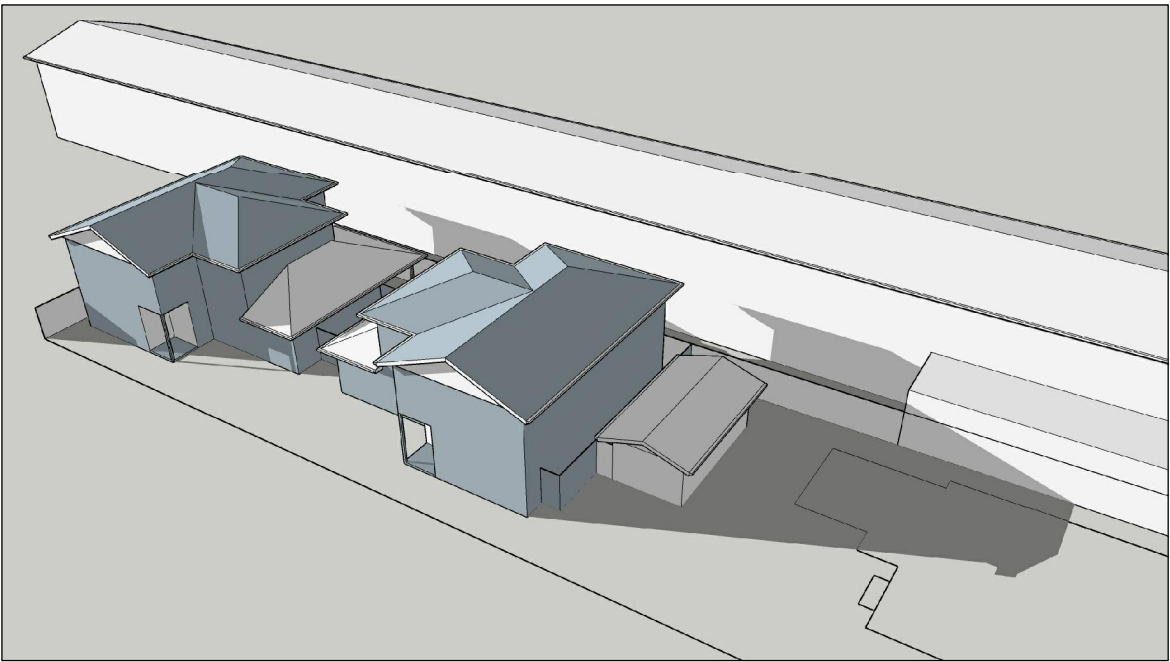
			job:	<div>north:<div></div><div> JONES DESIGNS</div></div>	
3	26/5/20	revised plan	PROPOSED MELTI-DWELLING HOUSING		
2	30/4/20	revised plan	client:		
1	25/2/20	issued for approval	MR BRADLEY		
No	date	amendment	location:		
A.Jones - 115 Bradman Dr Boorooma NSW 2650 - PH: 0439 715 702			LOT 1 (DP743421) 51 SIMMONS ST WAGGA WAGGA		
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			SECTION & BASIX - UNIT 2		designed: A. Jones
					c'ked:
					drawing number:
					10222
					sheet #:
					10/12

areas:
garage - 19.9m2

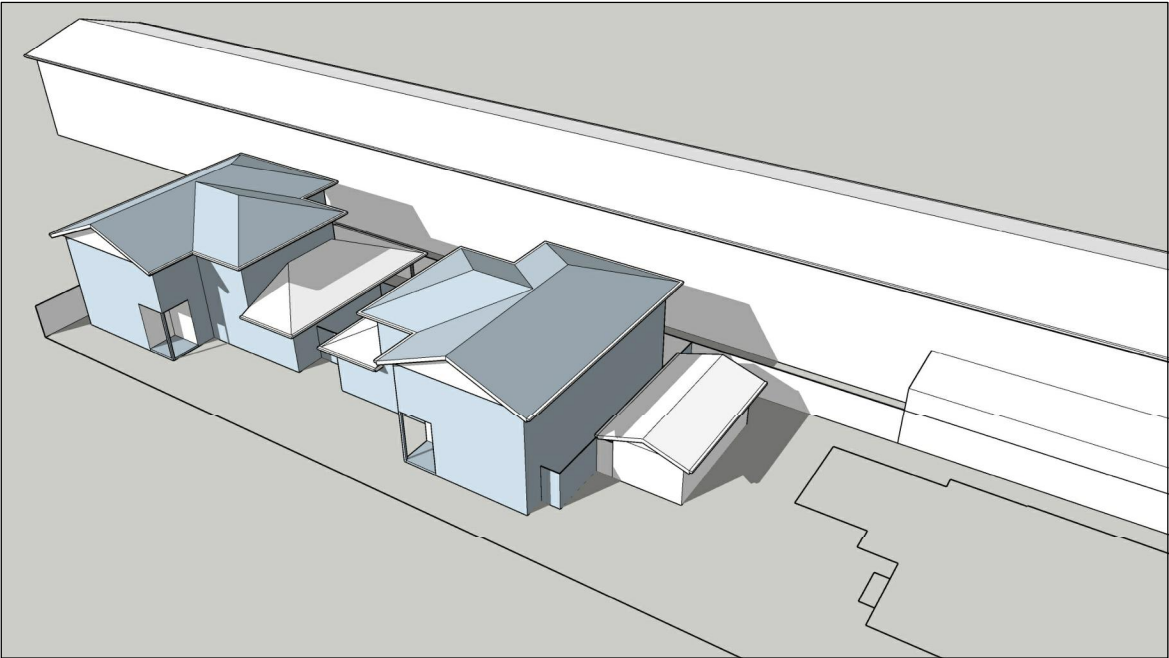
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⊕ - 300mm skylight



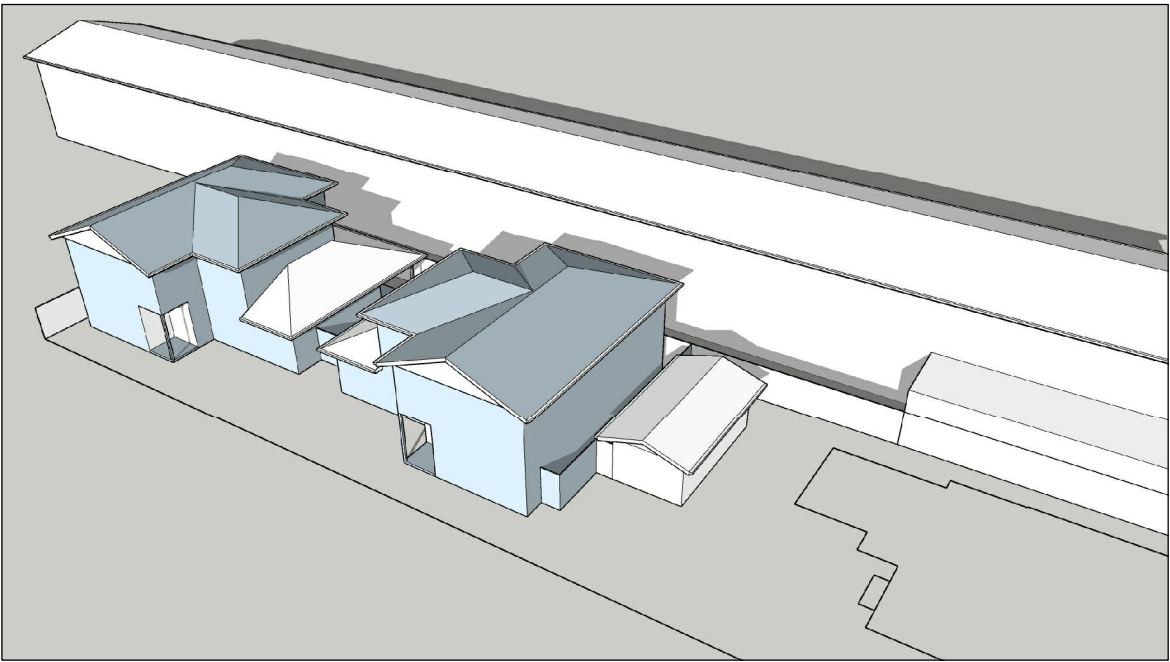
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2	30/4/20	revised plan	client:							
1	25/2/20	issued for approval	MR BRADLEY							
No	date	amendment	location:							
A.Jones - 115 Bradman Dr Boorooma NSW 2650 - PH: 0439 715 702			LOT 1 (DP743421) 51 SIMMONS ST WAGGA WAGGA		date:5/2/20		designed: A. Jones	c'ked:	drawing number:	sheet #:
this drawing is protected by copyright laws and can not be copied, altered or reproduced without the written permission of Andrew Jones			drawing title:		This plan is protected by copyright©					
			PROPOSED GARAGE							
					scale: 1:100 @ A3		drawn: A. Jones	10222		11/1



22 June @ 9am



22 June @ noon



22 June @ 3pm