

DRAWING No.	DESCRIPTION
0	COVER PAGE
1	SITE SURVEY PLAN
2	SITE PLAN
3	GROUND FLOOR
4	FIRST FLOOR PLAN
5	ROOF PLAN
6	BUILDING ELEVATIONS
7	BUILDING ELEVATIONS
8	SECTIONS
9	MISCELLANEOUS DETAILS
10	EROSION & SEDIMENT
11	LANDSCAPING

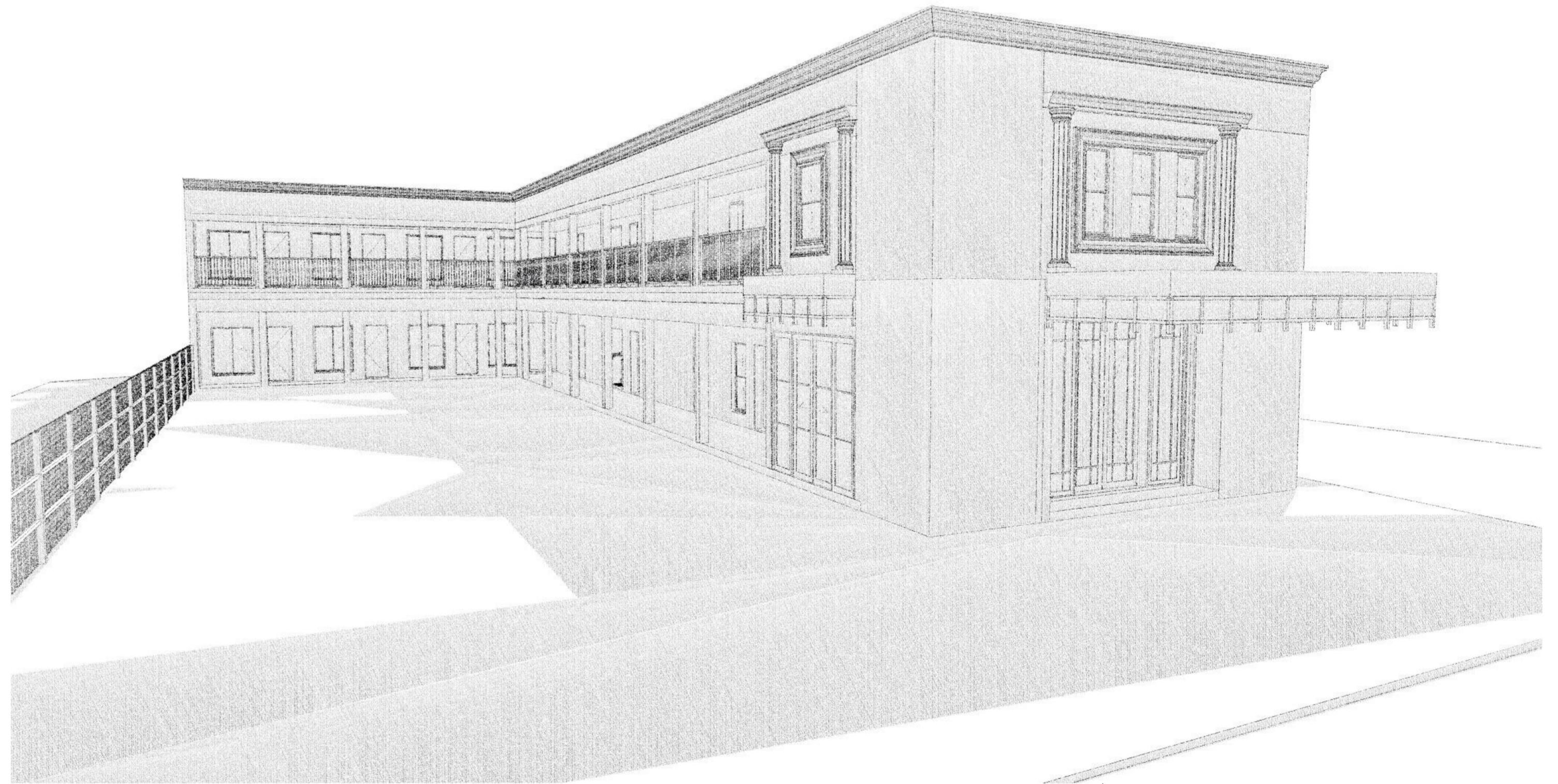


21-124

P R O P O S E D H O T E L

81 - 83 FORSYTH STREET WAGGA WAGGA

FOR  
Mr Joel Berrigan



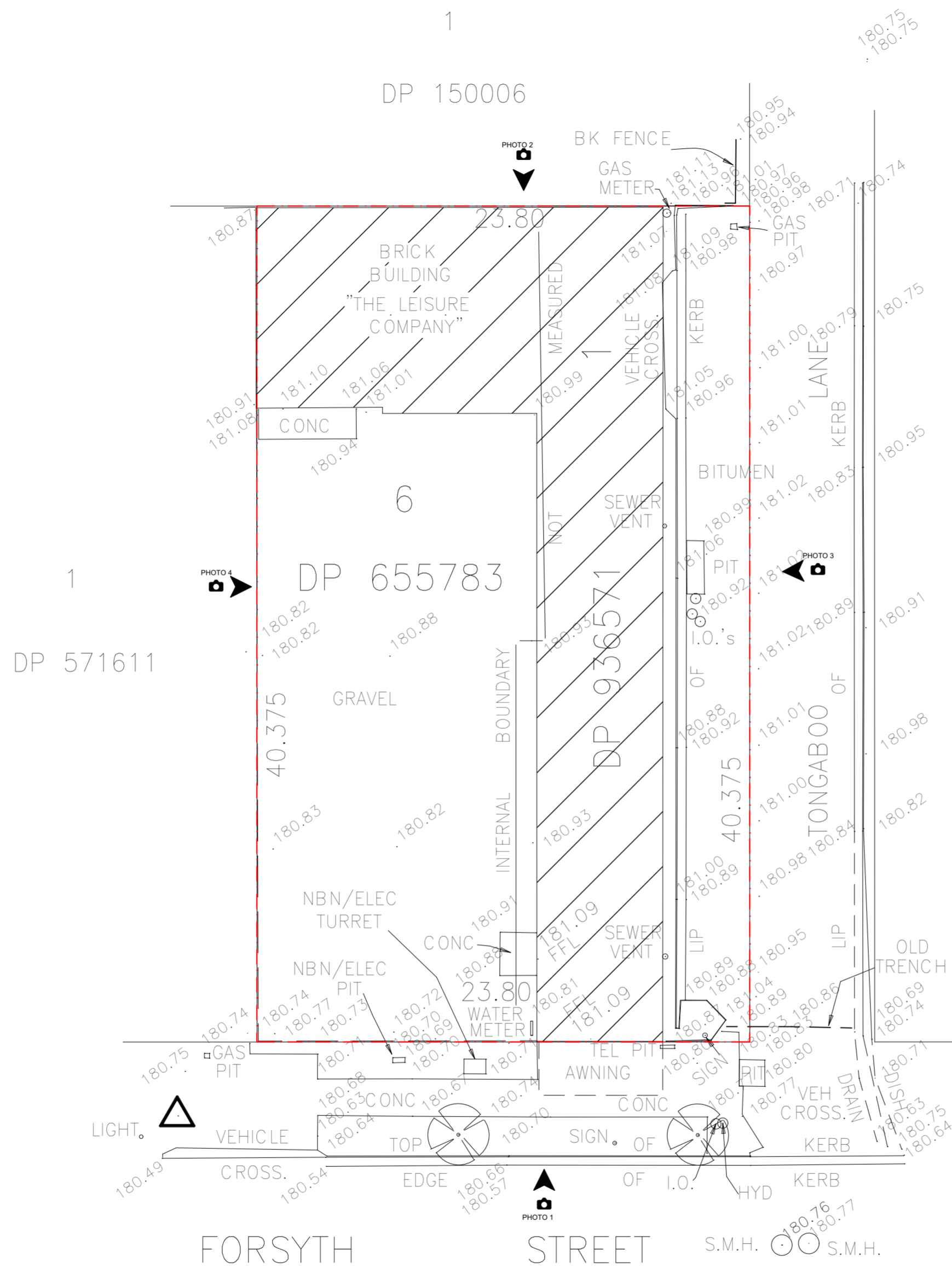


A2

ARLIE DESIGNS

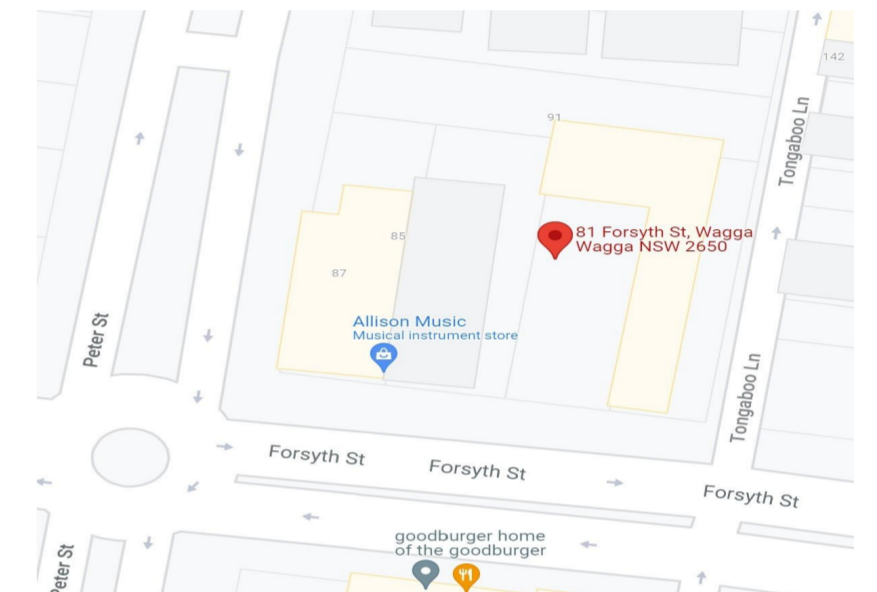
PLOT DATE: 22-Oct-21    Inspired by Elegance & Simplicity

G.N.  
M.C.A.



**IMPORTANT NOTE:**  
THIS DETAIL SURVEY IS NOT A SURVEY AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002.  
IF ANY CONSTRUCTION OR DESIGN WORK WHICH RELIES ON CRITICAL SETBACK FROM THE STREET OR BOUNDARIES IS PLANNED WE RECOMMEND THAT SUCH SURVEY BE CARRIED OUT TO MORE ACCURATELY DEFINE THE BOUNDARIES AND ANY ENCROACHMENTS BY OR UPON THE LAND.  
THE BOUNDARIES SHOWN HAVE NOT BEEN MARKED ON THE GROUND & HAVE BEEN DETERMINED BY BOTH PLAN DIMENSIONS & FIELD MEASUREMENT SERVICES SHOWN ARE THOSE THAT WERE VISIBLE AT THE TIME OF SURVEY. SERVICE LOCATIONS SHOULD BE INVESTIGATED WITH THE RELEVANT SERVICE AUTHORITY BEFORE THE COMMENCEMENT OF ANY EARTHWORKS OR CONSTRUCTION  
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN AND SHOULD NOT BE ALTERED OR AMENDED IN ANY WAY

△ DENOTES BENCHMARK BOLT IN CONCRETE  
R.L. 180.695 A.H.D.



- 1) Interior Lighting Systems  
All interior lighting systems are to comply with AS1680 (As required by BCA CL 3.8.4.3 class 1 & 10 buildings and CL F4.1 F4.2 F4.3 F4.4 for class 2 and 9 buildings)
- 2) Sanitary Compartments  
All sanitary compartments are to be constructed to comply with BCA Part 3 CL 3.8.3.3 for class 1 & 10 buildings and CL F2.5b for class
- 3) Smoke Detectors  
Smoke detectors are to be installed within the building in accordance with AS 3786 (As required by BCA Part 3.7.2) Smoke alarm to BCA requirements
- 4) All balustrade (if required) height and design are to be in accordance with AS 1170 Pt 1 (As required in BCA Part 3 Cl 3.9.2.3 for class 1 & 10 buildings and BCA Part D CL D2.16 for class 2 to 9 buildings)
- 5) All aluminum framed glazing is to comply with AS 1288, AS 2208
- 6) Termite Control KORDON TERMITE BARRIER is to be used as a Building Perimeter and Service Penetration termite protection system (AS 3660.1 - 2000) It is to be installed by manufacturer's installation instructions. The builder is to provide all relevant slab or construction details to the Accredited Installer for pricing etc. The Builder is to treat the Building's termite protection as a part of the building's process and therefore include in the construction program.

**SURVEY PLAN**  
1:200

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**For: Mr Joel Berrigan**  
**Job: 81 - 83 FORSYTH STREET WAGGA WAGGA**  
**Lot:1 on DP 936571**

**PROPOSED HOTEL**  
**SITE SURVEY PLAN**

DRAWN: JPS	DATE: 22-Oct-21	JOB No: 21-124	ISSUE: A
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# TONGABOO LANE

BITUMIN SURFACE

40.375 EXISTING BOUNDARY

CAR 18

CAR 17

CAR 16

CAR 15

CAR 14

CAR 13

CAR 12

LOADING ZONE  
10AM-2.00PM

LOADING ZONE  
10AM-2.00PM

PIT

4.213

4.213

F

EXISTING 6.070

LINE OF AWNING ABOVE

E

RL 181,090

CONCRETE

PROPOSED LIFT

EXISTING BRICK BUILDING  
TWO STOREY  
LOT 1  
DP 936571

3

CAR 11  
ACCESSIBLE

4

CAR 10

5

CAR 9

6

CAR 8

7

CAR 7

8

CAR 6

9

CAR 5

10

CAR 4

11

CAR 3

12

CAR 2

13

CAR 1

2.000

PIT

23.800 EXISTING BOUNDARY

EXISTING 13.524

CONCRETE

TOP

D

EXISTING 19.994

23.800 EXISTING BOUNDARY

C

B

A

EXISTING 9.724

40.375 EXISTING BOUNDARY

EXISTING 30.552

LOT 6  
DP 655783

PROPOSED CARPARKING  
1 X ACCESSIBLE  
17X TYPICAL  
TOTAL 18 SPACES

FALL

FALL

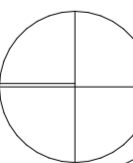
FALL

1 SITE PLAN  
1:100

2

Scale 1:100

N



VEHICLE  
CROSS OVER

BENCHMARK BOLT IN  
CONCRETE RL 180.695

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WAGGA WAGGA  
Lot:1 on DP 936571

## PROPOSED HOTEL SITE PLAN

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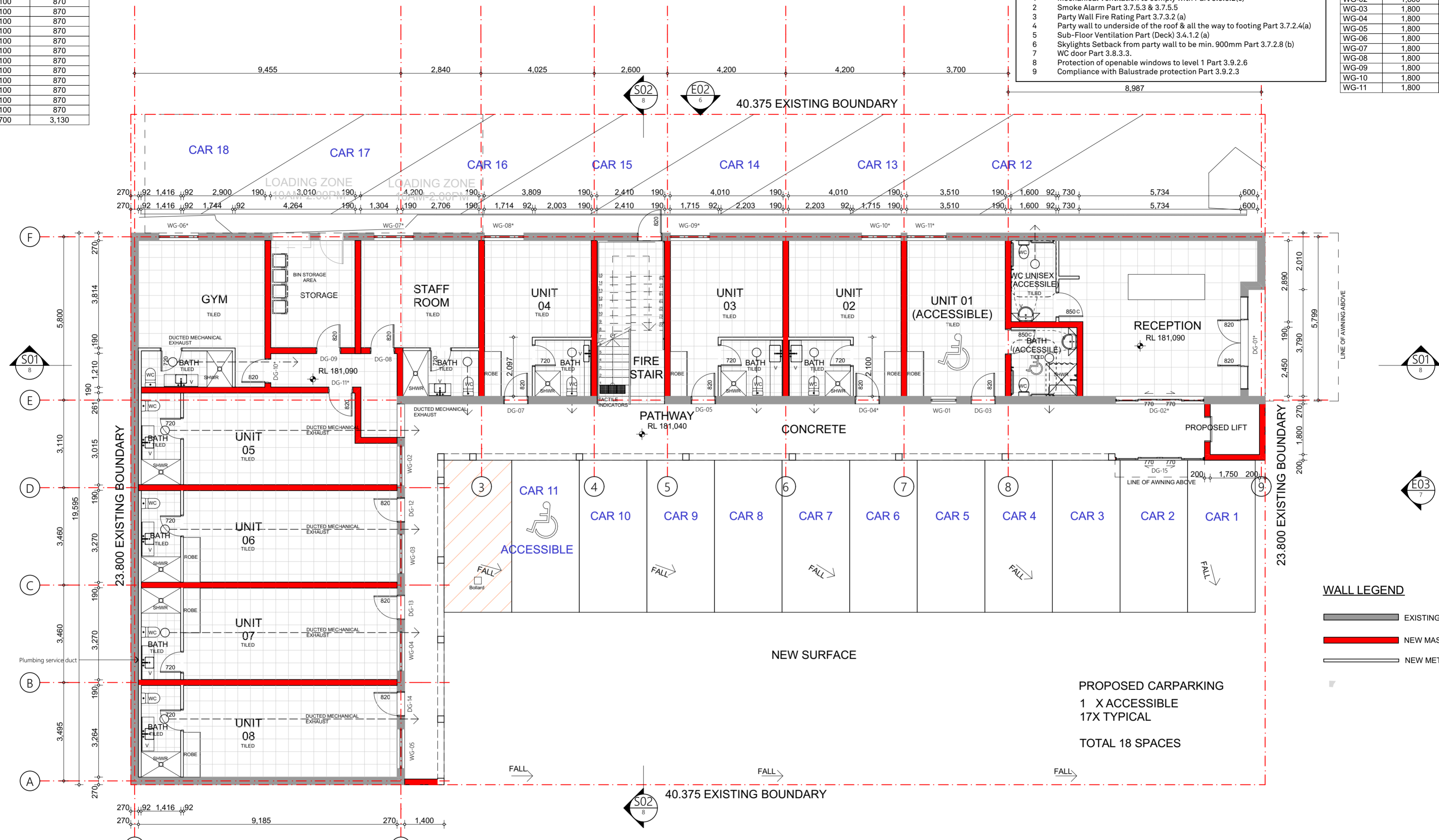


A2

Door Schedule		
DG-01	3,000	3,290
DG-02	2,700	3,130
DG-03	2,100	870
DG-04	2,100	870
DG-05	2,100	870
DG-06	2,100	870
DG-07	2,100	870
DG-08	2,100	870
DG-09	2,100	870
DG-10	2,100	870
DG-11	2,100	870
DG-12	2,100	870
DG-13	2,100	870
DG-14	2,100	870
DG-15	2,700	3,130

- NOTES:
- NCC 2019 (BCA) COMPLIANCE
  - Mechanical Ventilation to comply with Part 3.8.5.2(c)
  - Smoke Alarm Part 3.7.5.3 & 3.7.5.5
  - Party Wall Fire Rating Part 3.7.3.2 (a)
  - Party wall to underside of the roof & all the way to footing Part 3.7.2.4(a)
  - Sub-Floor Ventilation Part (Deck) 3.4.1.2 (a)
  - Skylights Setback from party wall to be min. 900mm Part 3.7.2.8 (b)
  - WC door Part 3.8.3.3.
  - Protection of openable windows to level 1 Part 3.9.2.6
  - Compliance with Balustrade protection Part 3.9.2.3

Window Schedule		
WG-01	1,800	900
WG-02	1,800	1,400
WG-03	1,800	1,400
WG-04	1,800	1,400
WG-05	1,800	1,400
WG-06	1,800	1,400
WG-07	1,800	1,400
WG-08	1,800	1,400
WG-09	1,800	1,400
WG-10	1,800	1,400
WG-11	1,800	1,400



**WALL LEGEND**

- EXISTING MASONRY
- NEW MASONRY
- NEW METAL STUD

PROPOSED CARPARKING  
 1 X ACCESSIBLE  
 17X TYPICAL  
 TOTAL 18 SPACES



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**For:** Mr Joel Berrigan  
**Job:** 81 - 83 FORSYTH STREET  
 WAGGA WAGGA  
 Lot:1 on DP 936571

**PROPOSED HOTEL**  
**GROUND FLOOR**

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**SCALE:** 1:100

**JOB No:** 21-124  
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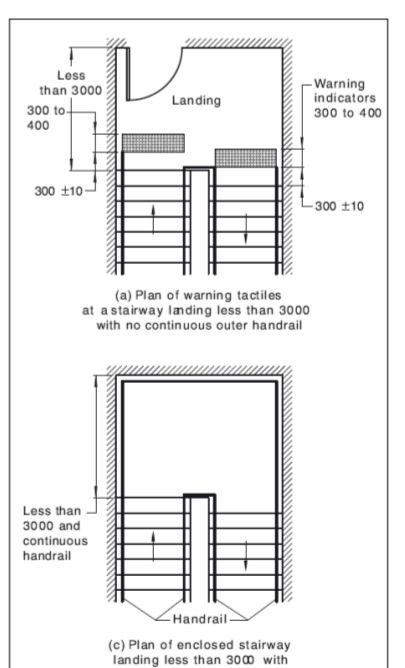
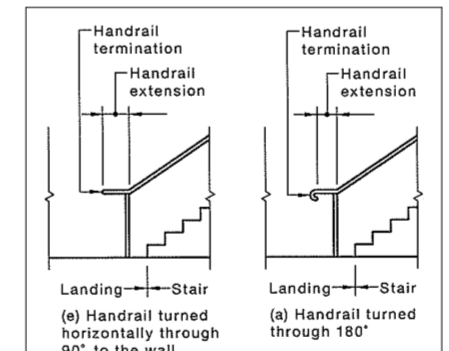
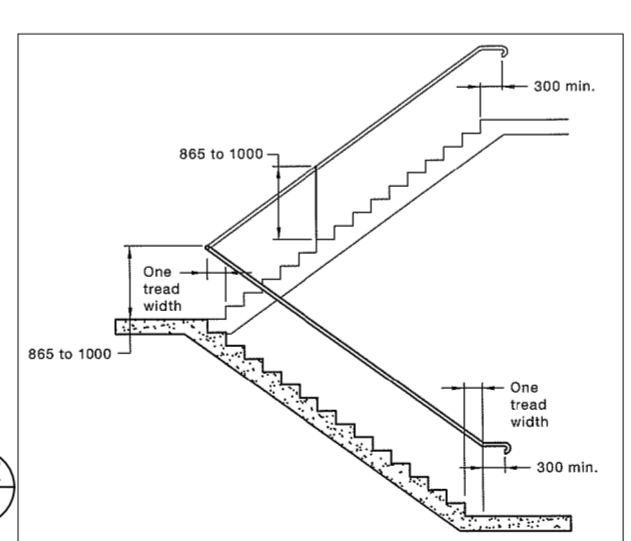
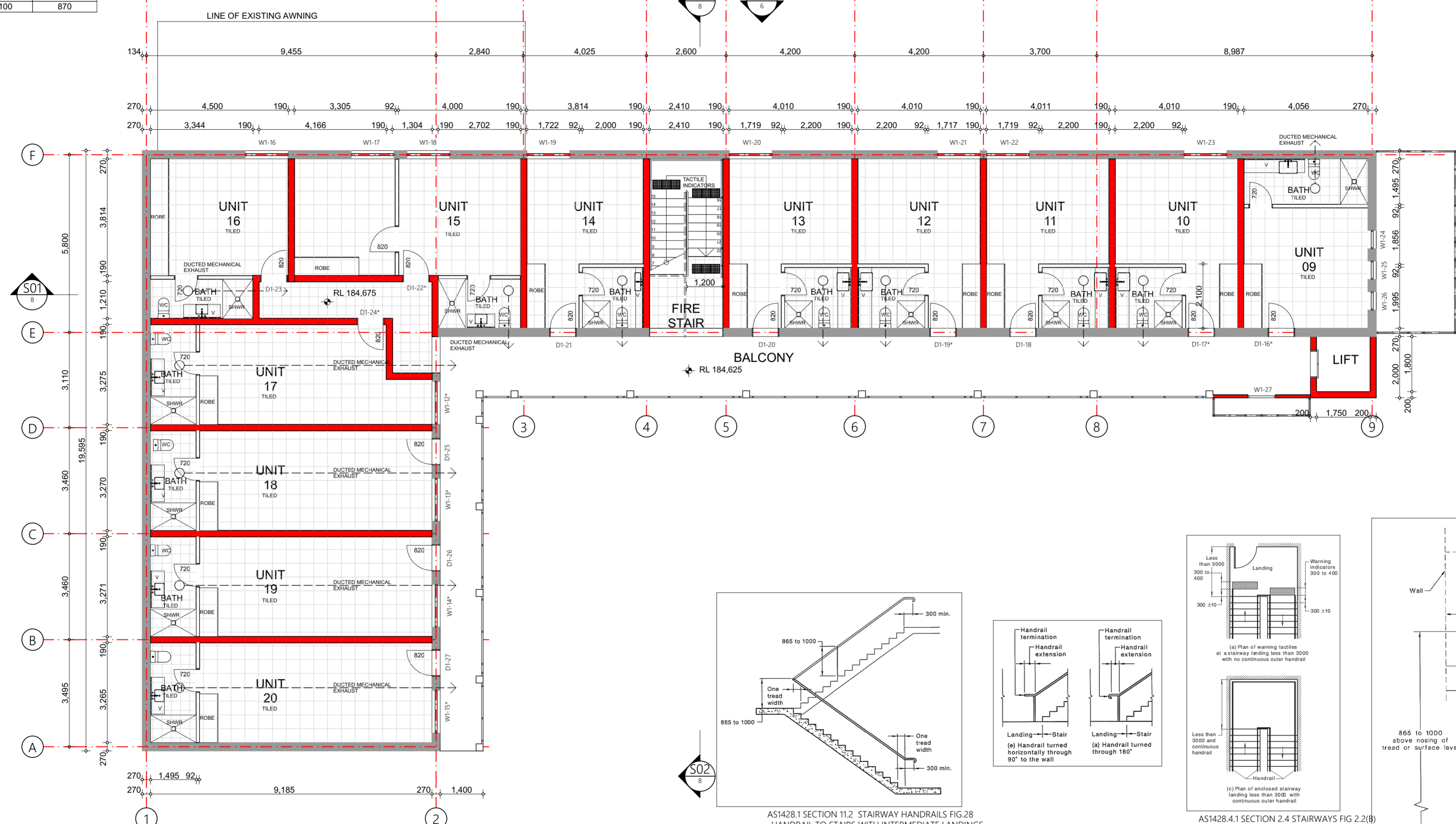
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Door Schedule		
ID	Height	Width
D1-16	2,100	870
D1-17	2,100	870
D1-18	2,100	870
D1-19	2,100	870
D1-20	2,100	870
D1-21	2,100	870
D1-22	2,100	870
D1-23	2,100	870
D1-24	2,100	870
D1-25	2,100	870
D1-26	2,100	870
D1-27	2,100	870

- NOTES:  
 NCC 2019 (BCA) COMPLIANCE  
 1 Mechanical Ventilation to comply with Part 3.8.5.2(c)  
 2 Smoke Alarm Part 3.7.5.3 & 3.7.5.5  
 3 Party Wall Fire Rating Part 3.7.3.2 (a)  
 4 Party wall to underside of the roof & all the way to footing Part 3.7.2.4(a)  
 5 Sub-Floor Ventilation Part (Deck) 3.4.1.2 (a)  
 6 Skylights Setback from party wall to be min. 900mm Part 3.7.2.8 (b)  
 7 WC door Part 3.8.3.3.  
 8 Protection of openable windows to level 1 Part 3.9.2.6  
 9 Compliance with Balustrade protection Part 3.9.2.3

Window Schedule		
ID	Height	Width
W1-12	1,800	1,400
W1-13	1,800	1,400
W1-14	1,800	1,400
W1-15	1,800	1,400
W1-16	1,000	1,400
W1-17	1,000	1,400
W1-18	1,000	1,400
W1-19	1,800	1,400
W1-20	1,800	1,400
W1-21	1,800	1,400
W1-22	1,800	1,400
W1-23	1,800	1,400
W1-24	1,400	600
W1-25	1,400	600
W1-26	1,400	600
W1-27	1,400	900



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 Lot:1 on DP 936571

**PROPOSED HOTEL**  
**FIRST FLOOR PLAN**

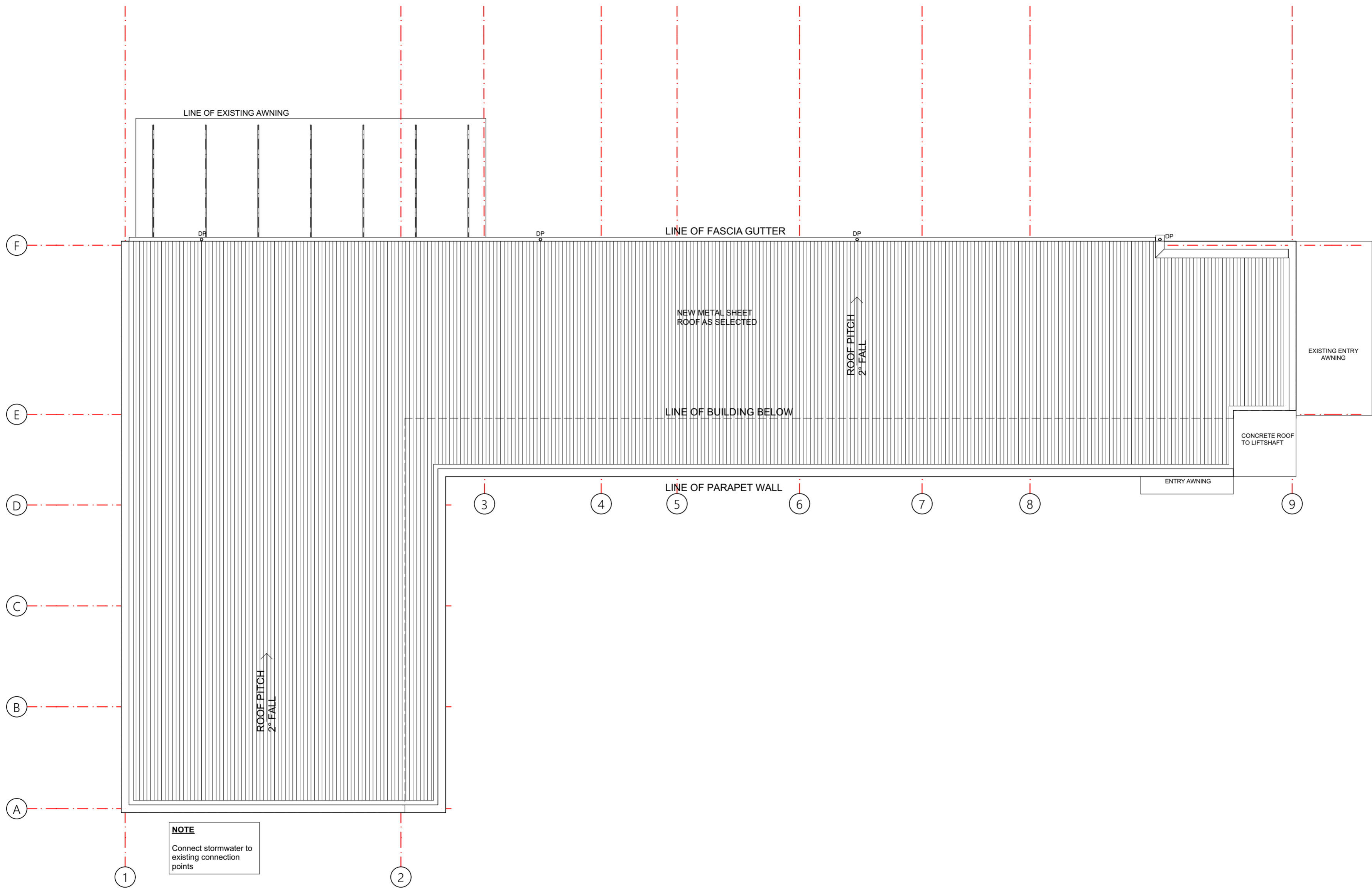
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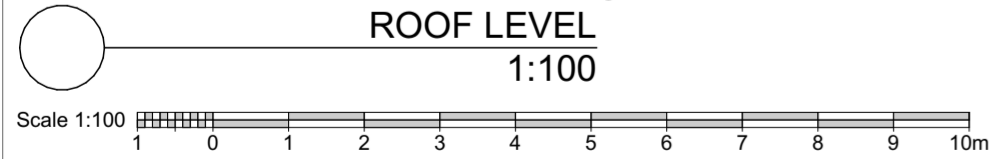
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**NOTE**  
Connect stormwater to existing connection points



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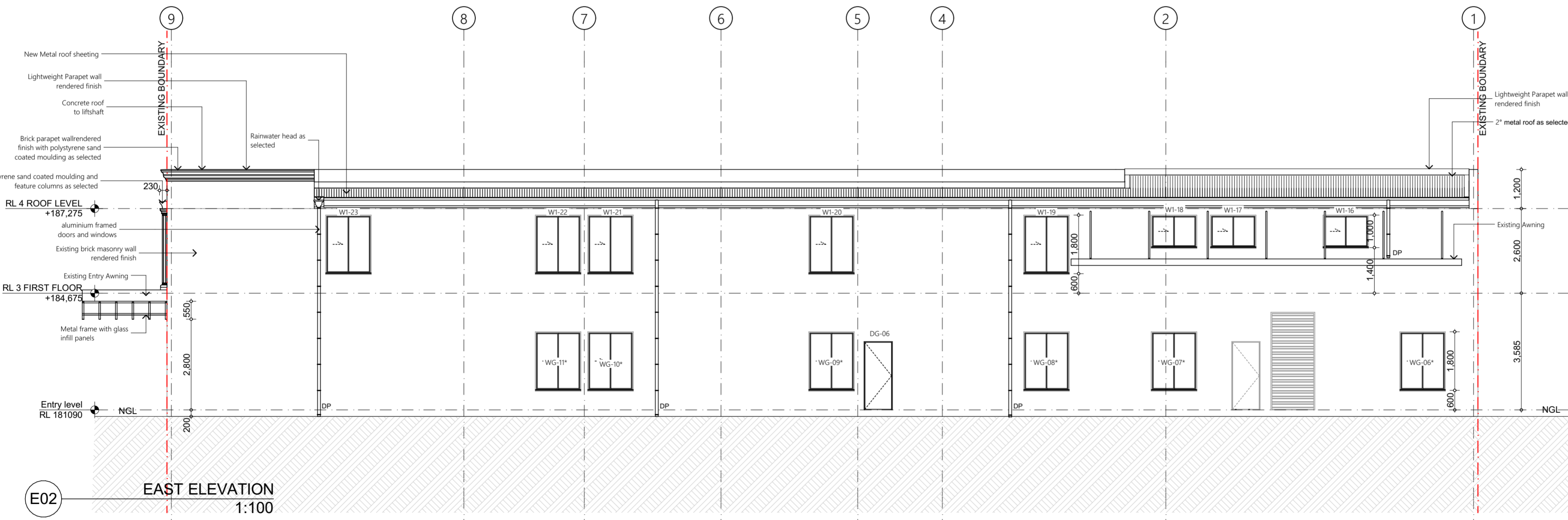
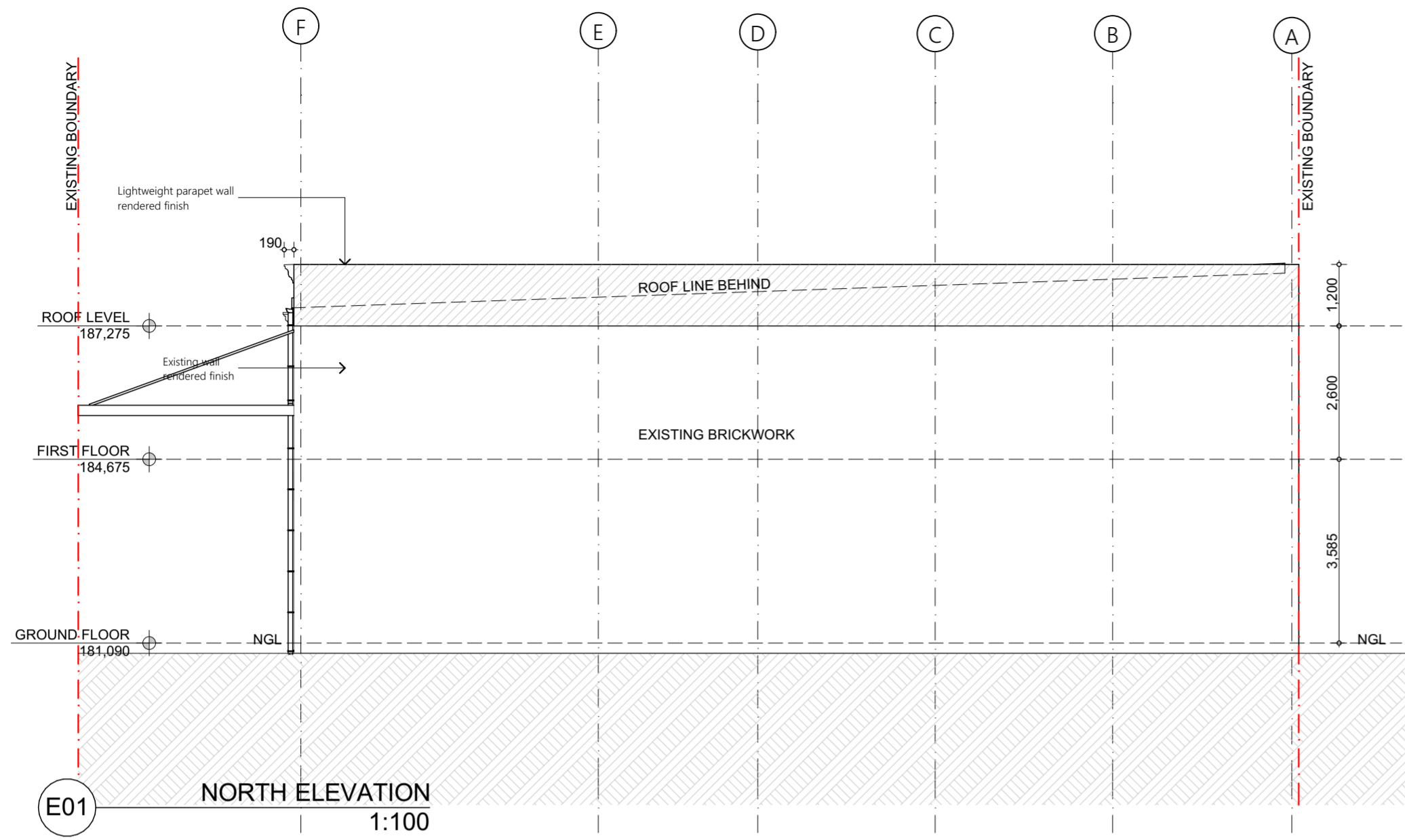
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**PROPOSED HOTEL  
ROOF PLAN**

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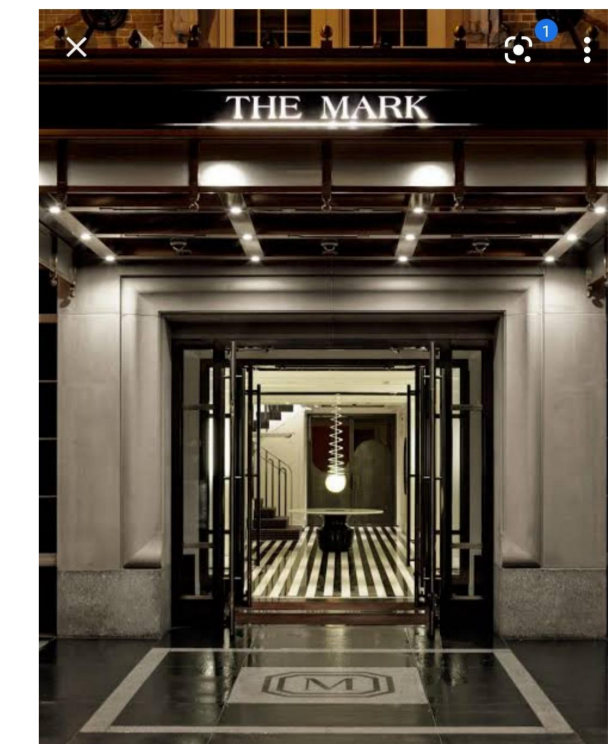
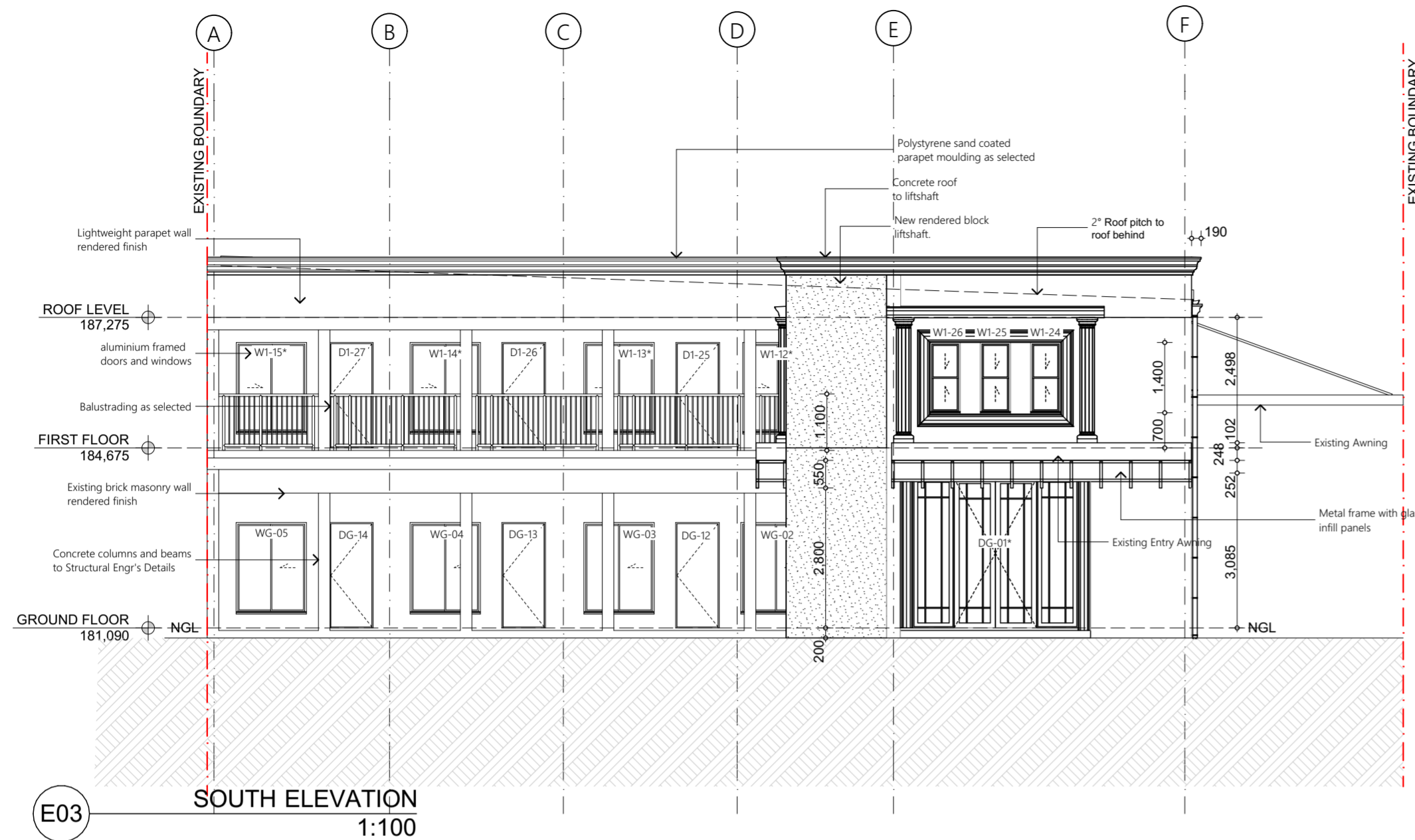
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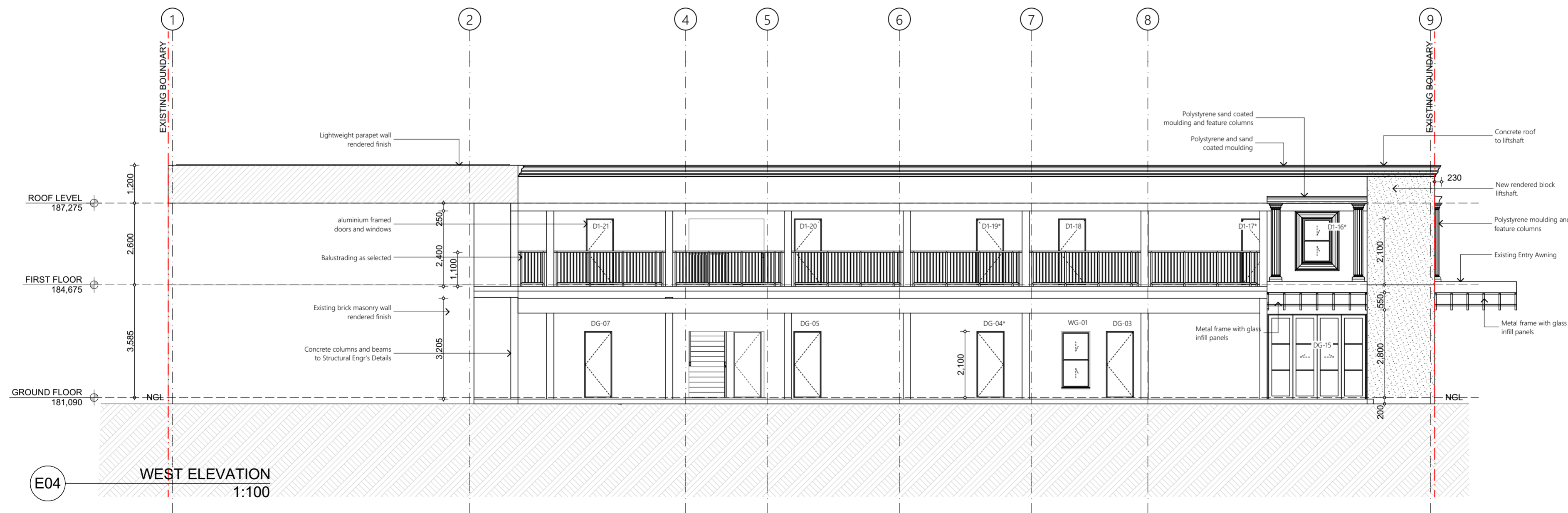
**PROPOSED HOTEL  
 BUILDING ELEVATIONS**

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**PROPOSED AWNING CONCEPT DESIGN**



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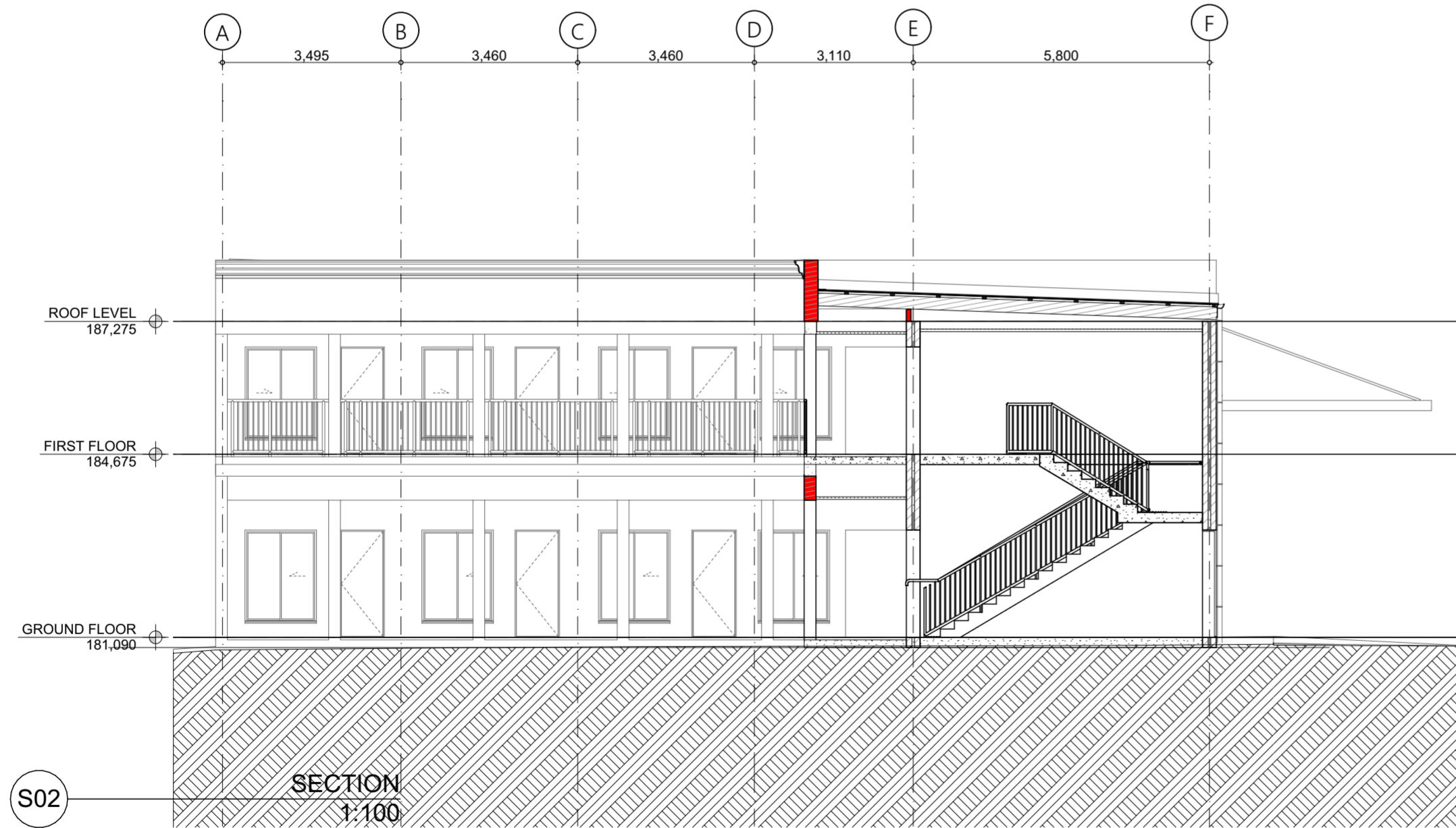
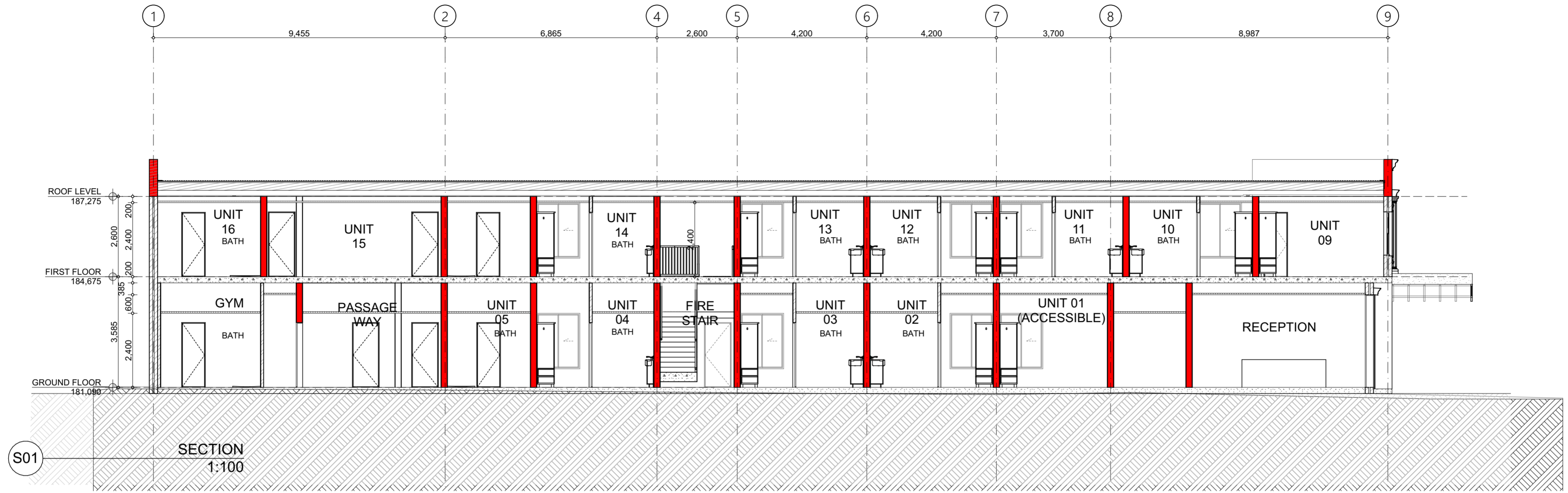
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**PROPOSED HOTEL  
 BUILDING ELEVATIONS**

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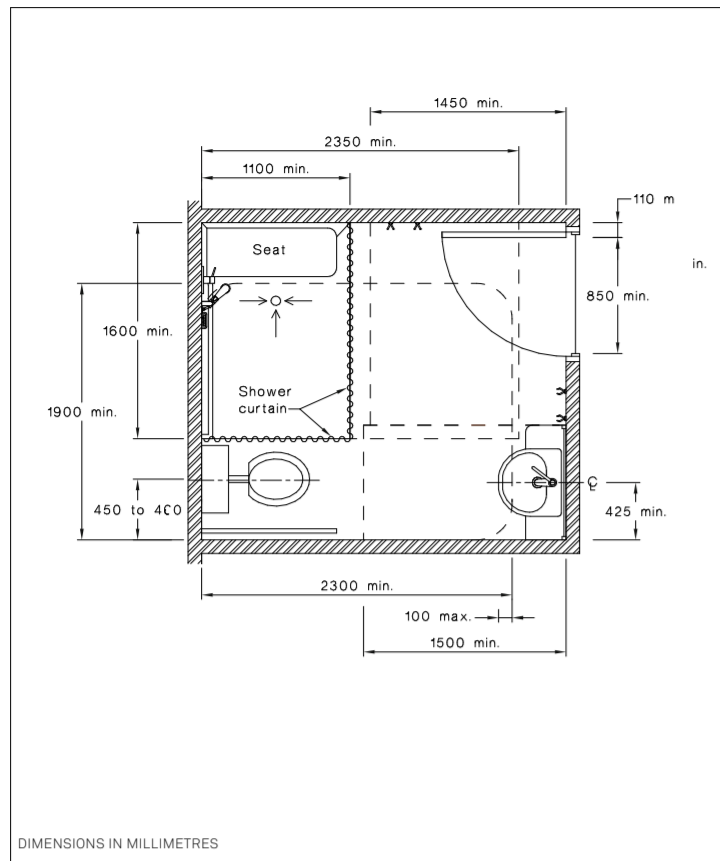
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**PROPOSED HOTEL SECTIONS**

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FIXTURE INTO SHOWER CIRCULATION SPACE  
 FIGURE 50 SANITARY COMPARTMENT SHOWING  
 OVERLAP OF WASHBASIN

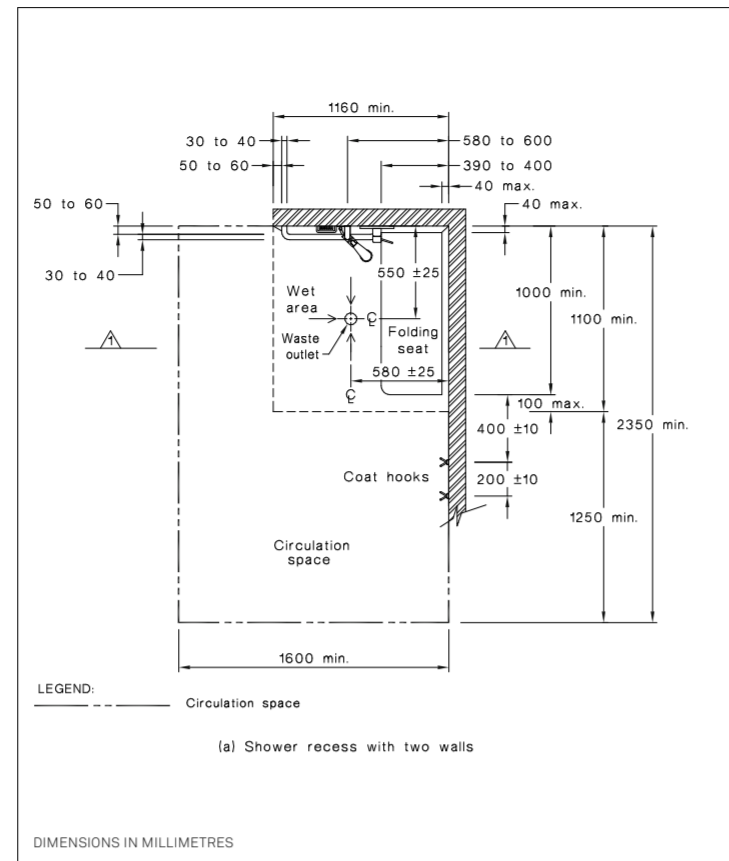


FIGURE 47 (in part) SHOWER RECESS AND  
 CIRCULATION SPACE—PLAN

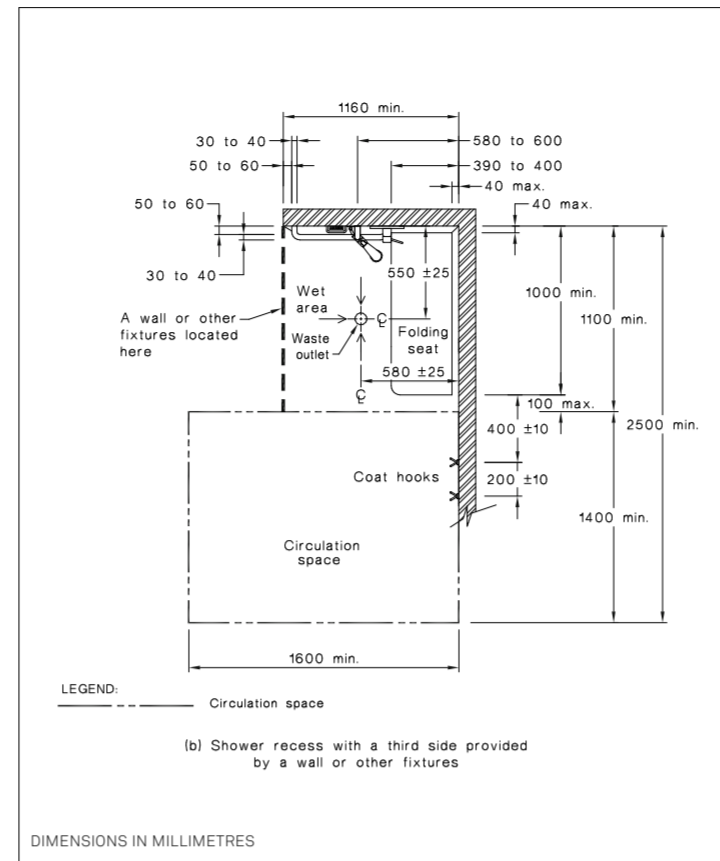
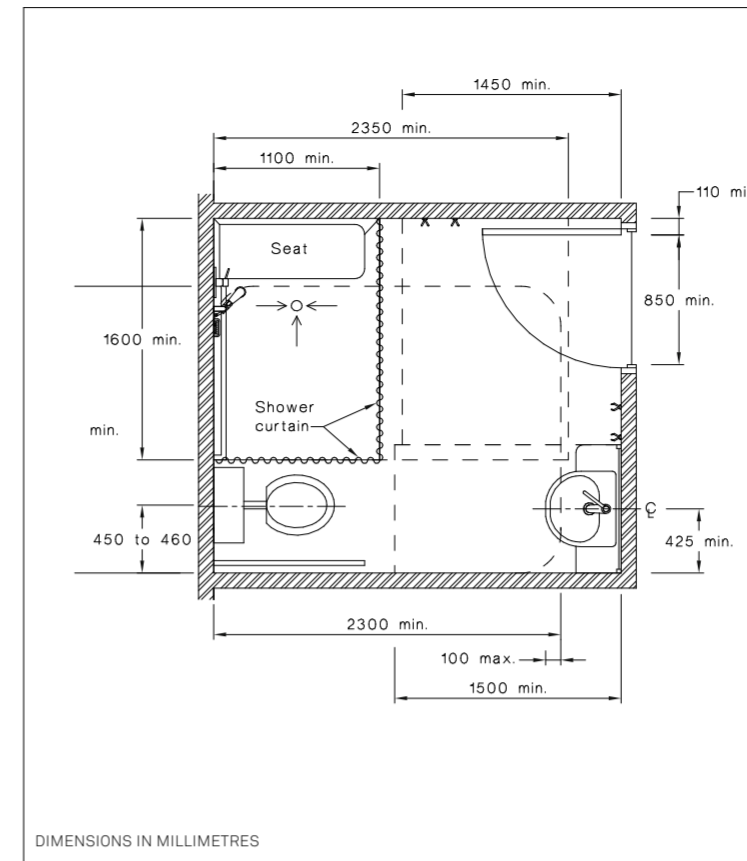


FIGURE 47 (in part) SHOWER RECESS AND  
 CIRCULATION SPACE—PLAN



FIXTURE INTO SHOWER CIRCULATION SPACE  
 FIGURE 50 SANITARY COMPARTMENT SHOWING  
 OVERLAP OF WASHBASIN

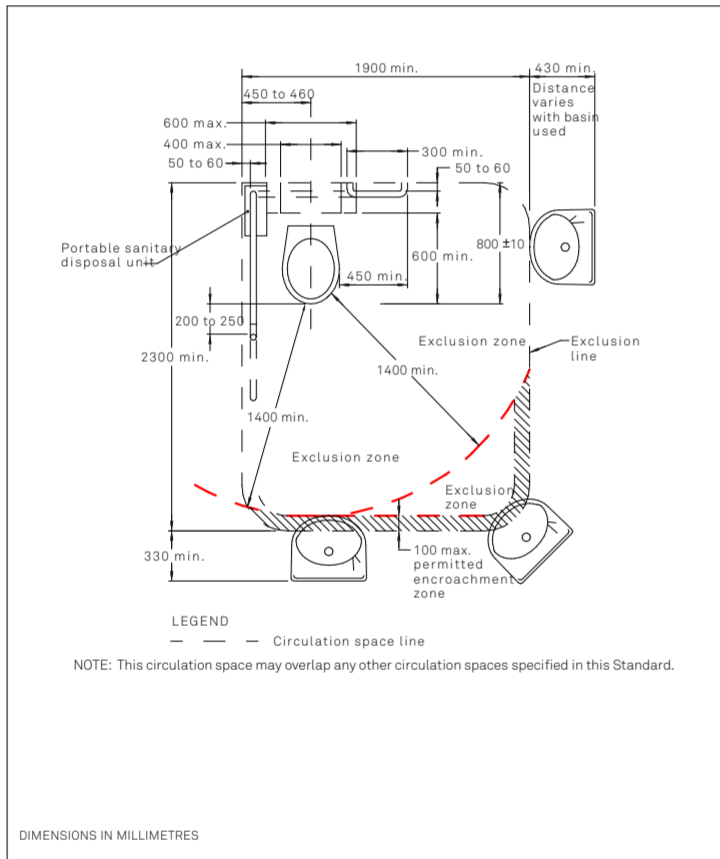
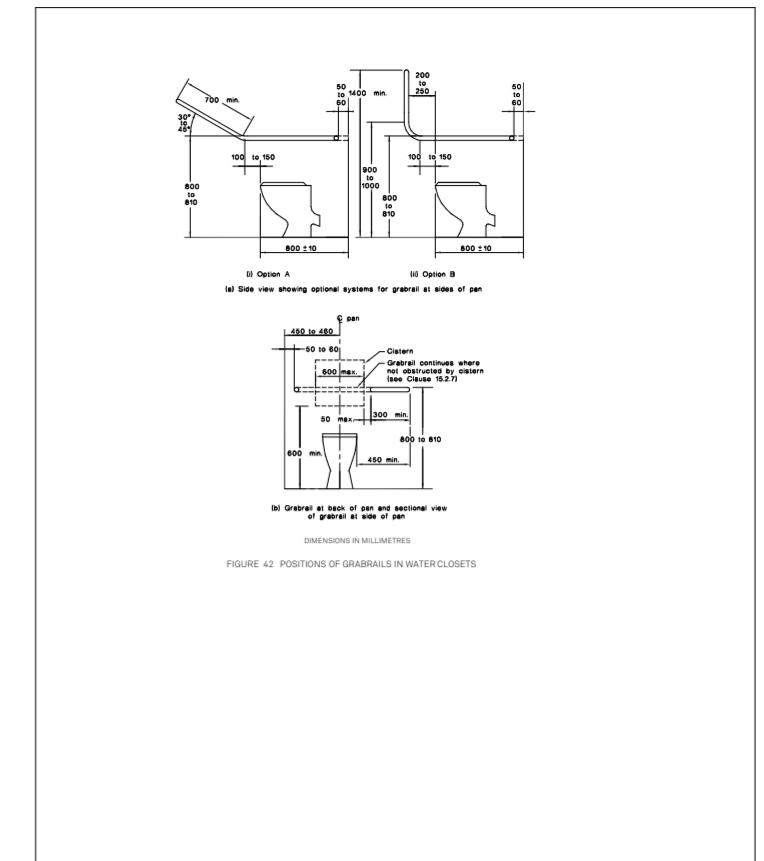


FIGURE 43 CIRCULATION SPACE FOR WC  
 PAN—RIGHT-HAND TRANSFER

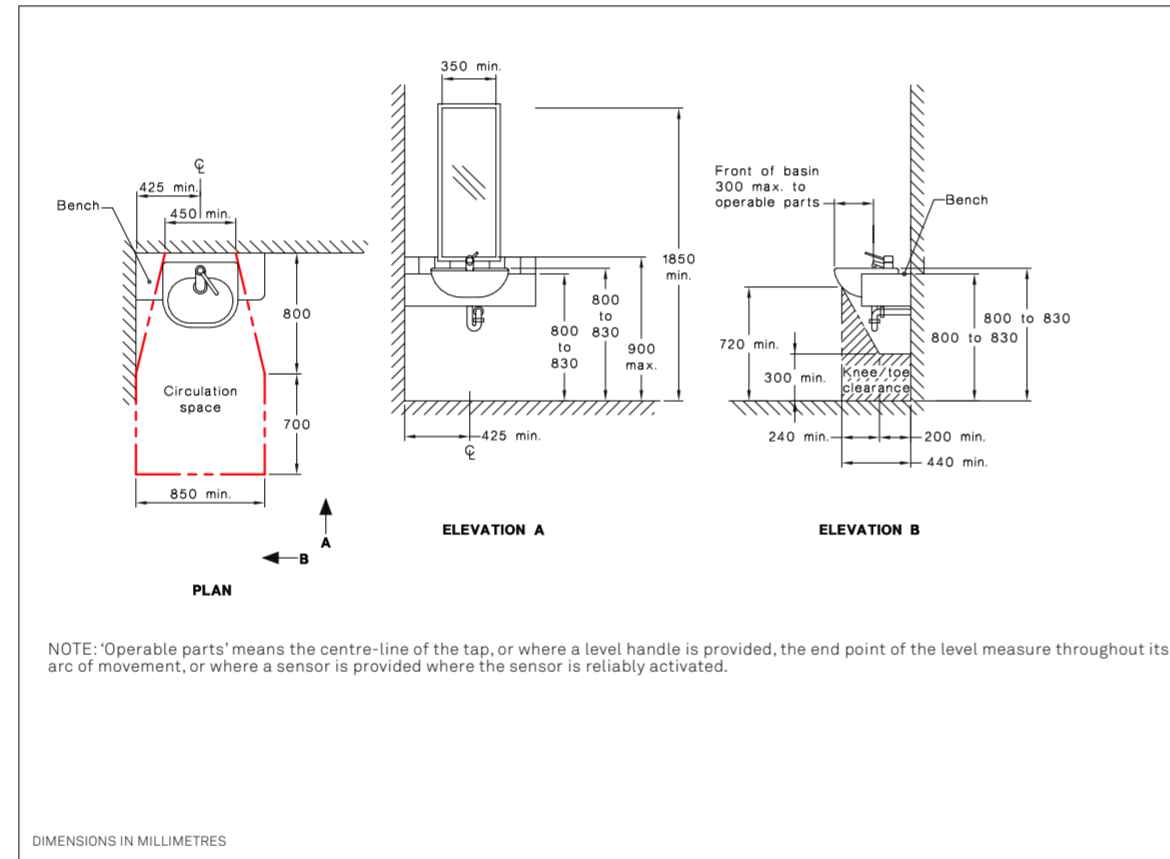


FIGURE 44(A) SEMI-RECESSED WASHBASIN INSTALLATION—OTHER THAN FOR SOLE-  
 OCCUPANCY UNIT

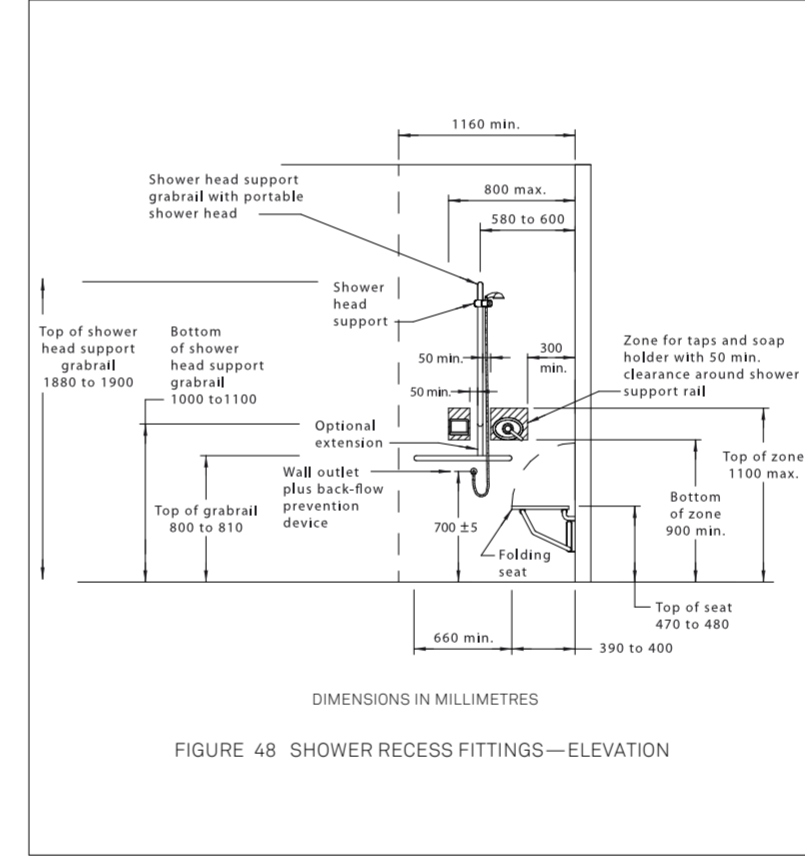


FIGURE 48 SHOWER RECESS FITTINGS—ELEVATION

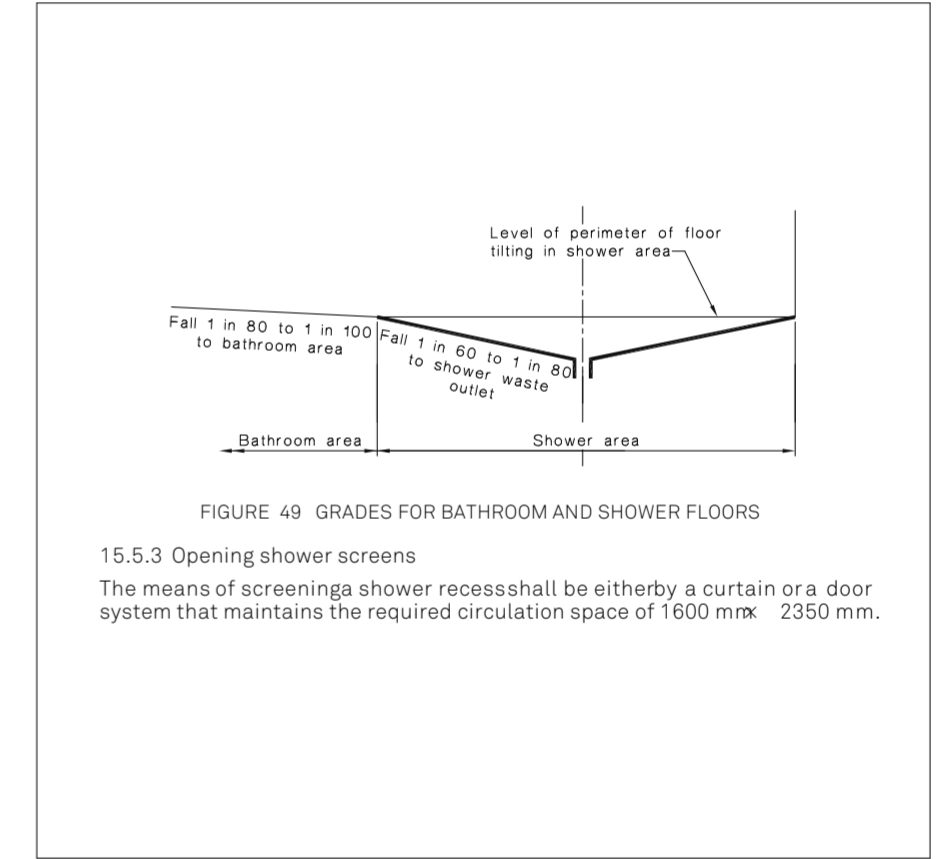


FIGURE 49 GRADES FOR BATHROOM AND SHOWER FLOORS  
 15.5.3 Opening shower screens  
 The means of screening a shower recess shall be either a curtain or a door system that maintains the required circulation space of 1600 mm x 2350 mm.

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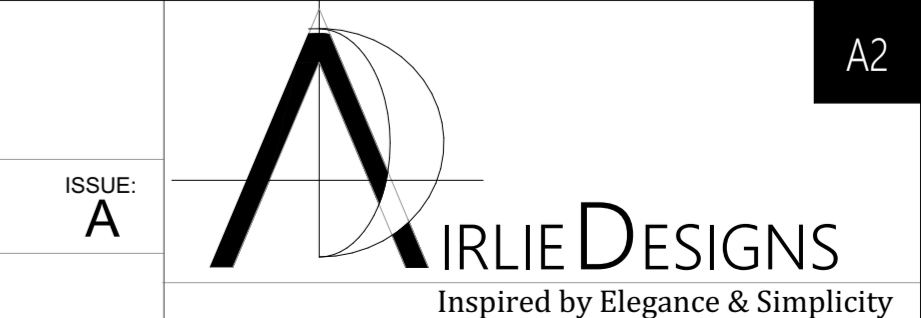
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 WAGGA WAGGA  
 Lot:1 on DP 936571

PROPOSED HOTEL  
 MISCELLANEOUS DETAILS  
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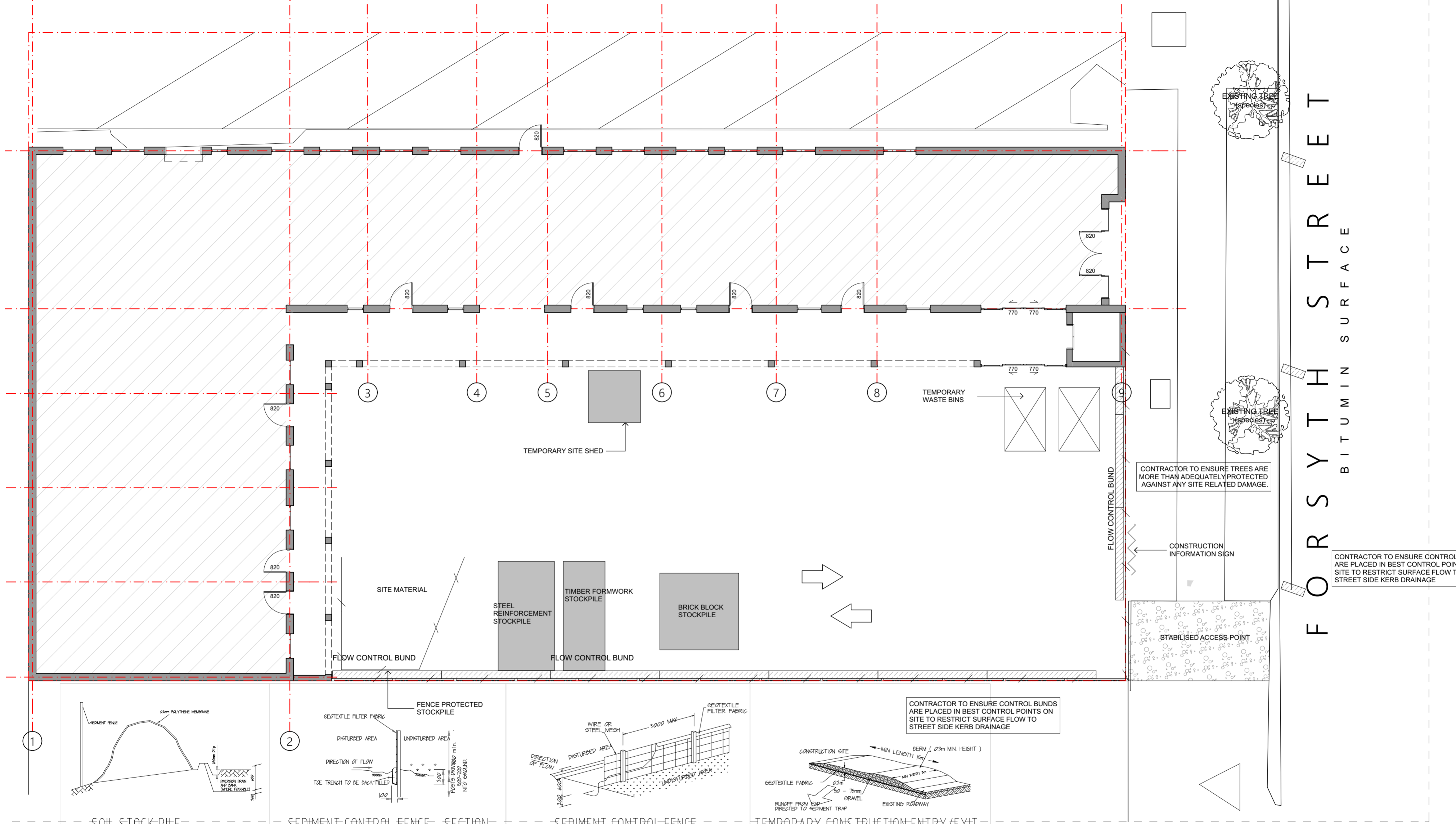


# TONGABOO LANE

BITUMIN SURFACE

# FORSYTH STREET

BITUMIN SURFACE

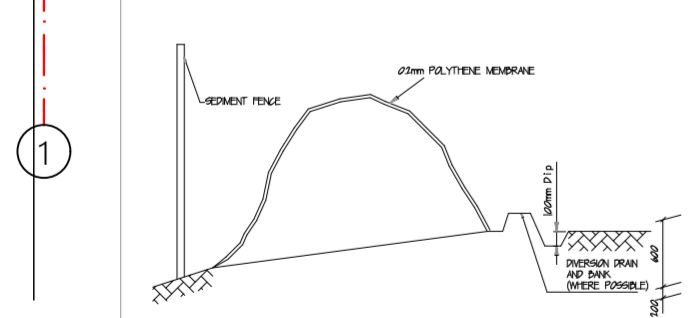


CONTRACTOR TO ENSURE TREES ARE MORE THAN ADEQUATELY PROTECTED AGAINST ANY SITE RELATED DAMAGE.

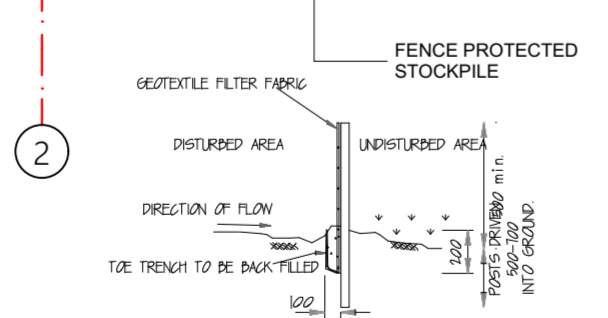
CONSTRUCTION INFORMATION SIGN

CONTRACTOR TO ENSURE CONTROL BUNDS ARE PLACED IN BEST CONTROL POINTS ON SITE TO RESTRICT SURFACE FLOW TO STREET SIDE KERB DRAINAGE

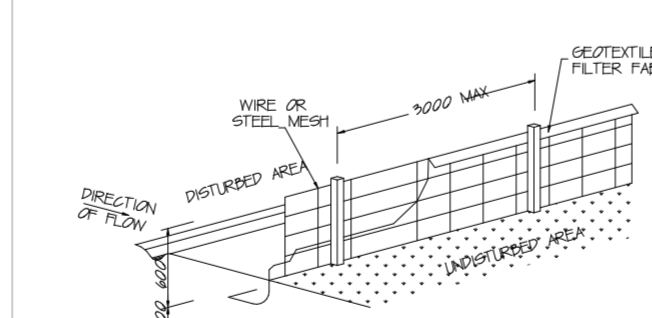
CONTRACTOR TO ENSURE CONTROL BUNDS ARE PLACED IN BEST CONTROL POINTS ON SITE TO RESTRICT SURFACE FLOW TO STREET SIDE KERB DRAINAGE



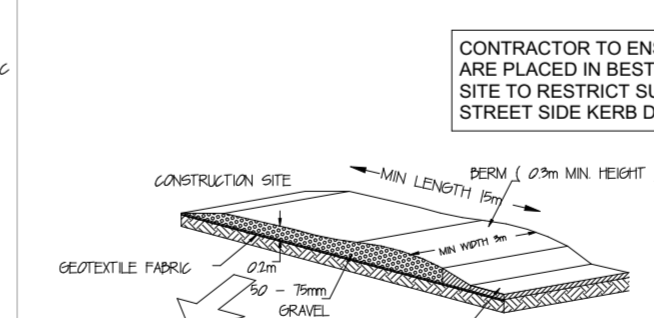
SOIL STOCK-PILE  
N.T.S.



SEDIMENT CONTROL FENCE - SECTION  
N.T.S.



SEDIMENT CONTROL FENCE  
N.T.S.



TEMPORARY CONSTRUCTION ENTRY / EXIT  
N.T.S.

EROSION AND SEDIMENT CONTROL PLAN  
1:200

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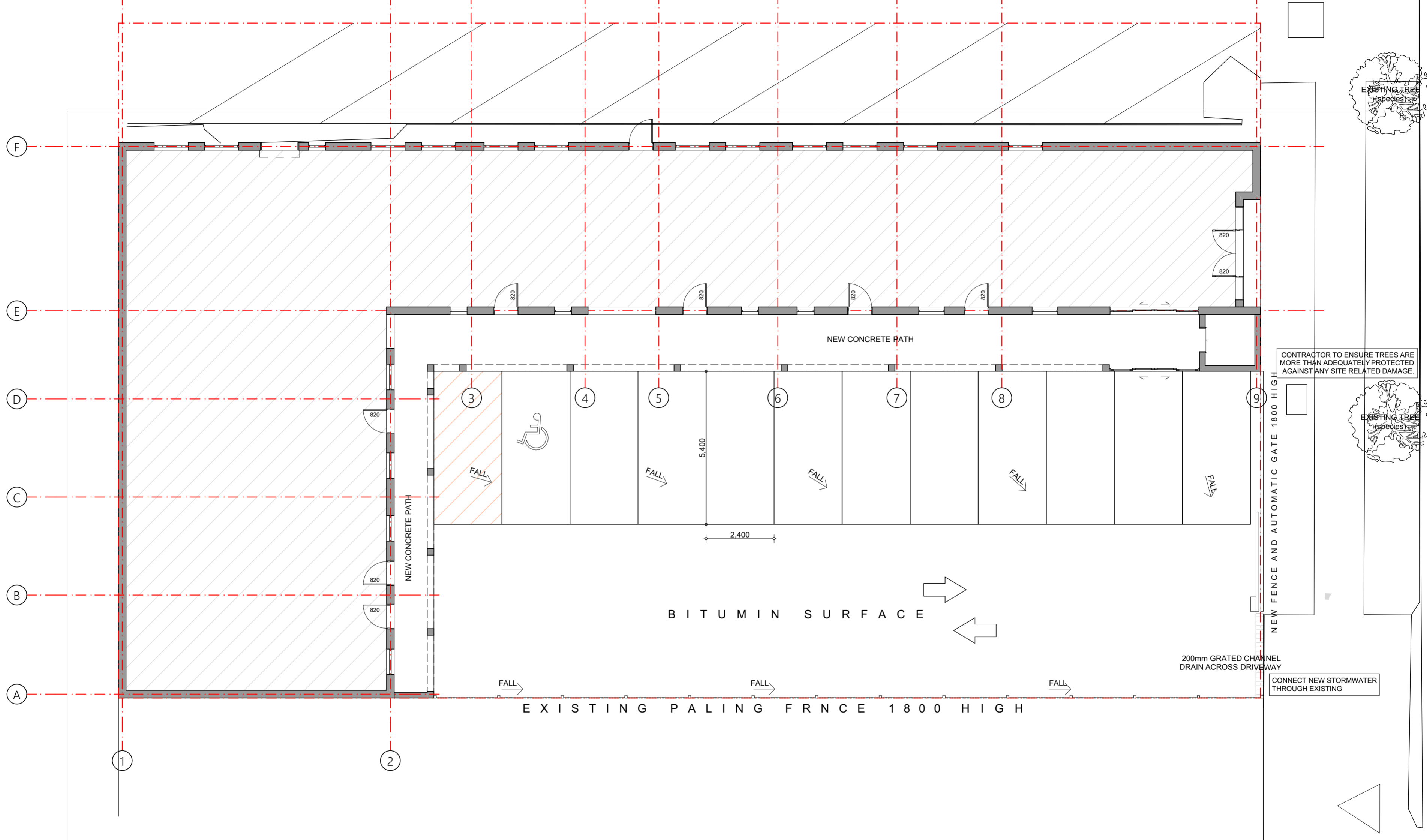
**For:** Mr Joel Berrigan  
**Job:** 81 - 83 FORSYTH STREET  
 WAGGA WAGGA  
 Lot:1 on DP 936571

## PROPOSED HOTEL EROSION & SEDIMENT

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TONGABOO LANE  
BITUMIN SURFACE



FORSYTH STREET  
BITUMIN SURFACE

Landscaping Plan  
1:100

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For: Mr Joel Berrigan  
Job: 81 - 83 FORSYTH STREET  
WAGGA WAGGA  
Lot:1 on DP 936571

PROPOSED HOTEL  
LANDSCAPING

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